

JINDEE

LOCAL DEVELOPMENT PLAN JINDEE, WESTERN AUSTRALIA

NOVEMBER 2024

LDP NO. 12.0 INDIVIDUAL LOT PLANS

DOCUMENT CONTROL -MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

REVISION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	15 November 2024	

Legend Public Realm

	LDP Boundary
	No Vehicular Access
\rightleftharpoons	Carriageway and Vehicle Direction
1	Carriageway and On-street Parking
	Roads Kerb Barrier
	Rubbish Bin Collection Point Mass Irrigated Croundsover Planting with Mulch (indicative)
	Mass Irrigated Groundcover Planting with Mulch (indicative) Passages (refer Operative Provision No.5)
	Civic Space (refer Operative Provision No.5)
	Mulch Only (indicative - dependant on final garage location)
45 1 45 1 45 1 45 1	Paving Type A - Laneway
	Paving Type B - Path
	Paving Type C - Street and Drive
	Paving Type I - Cobble
	Paving Type J - Herringbone Paving
14.5	Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
*	Proposed Light Pole Location
Leger	nd
	e Realm
Buildin	a Type
	Cottage Type
н	House Type
v	Villa Type
APT	Apartment House Type
\frown	Specific Design Requirements
SDR	(refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Mandatory 2 Storeys
	Build-to-line (BTL) (refer to Operative Provision No. 6)
23.30	Datum and Pad Level (refer Operative Provision No. 5)
- † 23.0	Spot Levels
XXXX	Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
	Entry Steps
	Landing
	Landing Indicative Retaining Wall Locations
	Indicative Retaining Wall Type 2
	No Vehicular Access
7 7777	
	No Vehicular Access Indicative Services Area Sightlines to be maintained as per Traffic Report (Uloth, June 2024)
•	
	7 19.50

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Table 1 - Tree Species and Spacing :

Street Type	Single or Mixed Species	
 Street 4B	Mixed	
 Street 4F	Mixed	
 Boulevard 2A	Mixed Species	
 Boulevard 2B	Mixed Species	
 Public Spaces including Passages, and Laneways	Mixed Species	

Typical Tree Species	Spacing	Arrangement
Agonis flexuosa, Angophora costata, Corymbia eximia nana, Erthrina sykesii.	2.0-7.0m	Regular
Angophora costata, Erthrina sykesii.	8.0m	Regular
Agonis flexuosa, Banksia integrifolia, Eucalyptus cladocalyx nana, Eucalyptus leucoxylon, Eucalyptus gomphocephala.	Varied	Irregular/ Cluster
Banksia integrifolia, Eucalyptus cladocalyx nana, Eucalyptus leucoxylon, Eucalyptus gomphocephala.	Varied	Irregular/ Cluster
Banksia integrifolia, Corymbia calophylla, Eucalyptus caesia, Eucalyptus utilis, Cupaniopsis anacardioides, Hibiscus tiliaceus rubra, Olea europaea, Angophora costata*, Araucaria columnaris, Metrosideros excelsa, Eucalyptus gomphocephala, Jacaranda mimosifolia, Macadamia integrifolia*.	Varied	Varied
* Root mitigation measures and final locations for Angophora costa and agreed at detailed landscape approvals.	ta and Macada	mia integrifolia to be determined

Tree Species

- Cupaniopsis anacardioides (Tuckeroo)
- Agonis flexusoa (WA Peppermint)
- Tipuana tipu (Rosewood)
- Macadamia integrifolia (Macadamia Nut Tree)
- Olea europaea (Olive Tree)
- Corymbia eximia nana (Dwarf Yellow Bloodwood)



- Eucalyptus gomphocephala (Tuart)
- Banksia integrifolia (Coast Banksia-NSW)
- Angophora costata (Sydney Red Gum)
- Eucalyptus cladocalyx nana (Dwarf Sugar Gum)

- Eucalyptus leucoxylon (Rosea)
- Erthrina sykesii (Common Coral Tree)





PUBLIC REALM - OP	RATIVE PROVISIONS	
	erative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including nd Landscape Masterplan, required as conditions of subdivision approval.	8. Private Frontage and Elevation
1. Landscape and Trees	a) Street Trees Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments.	Requirements
	b) Groundcover Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus.	
	c) Laneway Planting Final location of planting in laneway is dependent on location of crossovers.	9. Garaging, Parking, and
2. Parking	 a) On Street Parking On street parking is provided and located as indicated on the adjacent plan. 	Vehicle Access
	b) Laneway parking and access Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws. Parking of vehicles is prohibited within a Lane.	
3. Street Lighting	Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision.	
4. Lot Truncations	Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.	
5. Detailed Design of Civic Spaces	Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage.	
6. Refuse Collection	An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - Operative Provision No.13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an easement or legal agreement for a temporary turnaround facility is not required.	
7. Paving Materials	Final allocation of paving types and materials will be determined at detailed landscape and engineering stage.	10. Fencing and Walling
8. Kerbing Type	All kerbing is barrier or flush kerbing unless otherwise specified.	

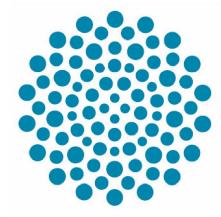
DRIVATE REALM - OPERATIVE PROVISIONS

PRIVATE REALM	<u> 1 - OPER</u>	RATIVE PROVISIONS	11. Privacy Requirements
The Private Realm graphically and in	- Operativ the corres	d referred to in this LDP is to comply with the requirements of Local Development Plan Number 12.0 ("LDP 12.0"). re Provisions of LDP 12.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both sponding text provisions) that must be met in developing any Lot contained within the LDP 12.0 area. "ILP" is a reference of convenience only and each and every ILP forms part of this LDP 12.0.	
		this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP	12. Specific Design
At Jindee, a conser Report. In summa		s applies that is subject to the requirements and procedures set out in the Jindee Design Code (Agreed Structure Plan No 84) and in LDP process requires:	Requirement
a. That an a compliar required	pplication ce with th by the JTA	n for any proposed Development be made to the Jindee Town Architects Office ('JTAO') to assess the proposed Development for ne LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as NO.	13. Refuse storage enclosures and collection
c. If the JTA Owner/ F	O endorse Purchaser I	required to the proposed Development by the JTAO are to be resubmitted to the JTAO; es an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot may make an application for a Building Permit to the City of Wanneroo.	concelion
the object	tives and	es (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with design intent of the LDP, then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to	14. Design
, .		ling Permit. ency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.	Outcomes - Additional
1. Site Works	a)	Maximum Lot Level Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP.	Requirements + Controls
	b)	Stormwater management Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of	
	c)	Wanneroo. Retaining Walls	
		 i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall. ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot. iii. All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or 	15. Landscaping + Street Trees
		near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.	
	d)	Earthworks and Fill Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07).	
2. Density (No of Dwellings)	a)	Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section.	
	b)	Apartment House Dwelling Units The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP.	16. External
	C)	Ancillary Units The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.	Fixtures
3. Dwelling Controls	a)	Maximum Lot Coverage Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP.	Exemptions to Planning
	b)	Building Type Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot.	Approval
	c)	Lot Type All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP.	
	d) e)	Building Disposition Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot. Terrace Groupings	
	-,	The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.	
4. Plinth	a)	Requirement for a Plinth A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP.	18. No modification
	b)	Plinth constructed by Developer Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the	of Building elements provided by
	c)	Lot is stipulated in Item 4b. Plinth constructed by Lot Owner	the Jindee Developer without Consent
	d)	Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c. Required building element to attach to Plinth	19.
	-,	Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.	Termination of the Role of the JTAO
5. Building Heights	a)	Limit on Storeys The maximum number of storeys permitted to be Built on the lot is specified in Item 5a of the relevant ILP.	
-	b)	Maximum External Wall Height No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item	
	c)	5b of the relevant ILP. Measurement of External Wall Height from Lot Datum For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height	
	d)	of the Lot Datum, specified in Item 5c of the relevant ILP. Exceptions No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot	
		except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.	
6. Setbacks and Build-to-Lines	a)	No Development in Setbacks Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation.	
	b)	Designation of Boundaries The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot.	
	c)	Setback Lines The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.	
	d)	Build -To-Line (BTL) i. A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is	
		 mandated in Item 6f of the relevant ILP. The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant 	1.1
		 The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation. For the purposes of assessing a building's compliance with the requirement in 6d)iii, the width of any Projecting Front is to be 	JI
	e)	deemed to have been constructed on the BTL. Parapet Walls	$ \cap C $
7. Permitted	a)	If applicable, the requirement for parapet walls is prescribed in Item 6h of the relevant ILP. Permitted Encroachments into Setbacks	
Encroachments	-	Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.	PUBLIC

A/Director, Planning and Sustainability City of Wanneroo

a)	Private Frontage
b)	All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP. Principal Elevations All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP.
c)	Secondary Elevations Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses
	may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must not be located along secondary elevations.
a)	Minimum Garaging Requirement Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be acceptible for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e).
b)	Ancillary Unit Garaging Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP.
c)	Restriction of Vehicle Access Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP.
d)	Garage Disposition The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP.
e)	Screening of garages from public realm Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public realm.
f)	Crossovers Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved.
g)	Garage doors The inside of the garage and /or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required.
a)	Attached Walls and Sideyard Walls Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP.
b)	Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges.
a)	Development on a Lot must meet the following Privacy requirements:
	 Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a i-vi. of the relevant ILP. Where Items 11a i-vi of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is
	responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjoining Property to achieve privacy to these areas.
a)	Specific Design Requirement A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the location graphically depicted on the corresponding plan.
a)	Bin Storage The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for three bins (general waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP.
b)	Bin Collection Point The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP.
a)	Additional Controls In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer; Jindee Architectural Standards, administered by the Jindee JTAO; and other legislative controls such as the Dividing Fences Act.
b)	Architectural Standards The Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required
c)	openings (doors and windows), fencing and walling, and Encroachments and consent processes Buildings Proportions Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO.
a)	Landscape Required
	The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and Building, and contributing to the streetscape.
b)	Street trees Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge.
c)	Offence to remove or damage street streets It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot.
visable	Il Fixtures are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be from any public space with the exception of solar panels which are permitted to be visable from a public space provided that no hot ollection tank is visible.
a)	Exemptions The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the
	Development is consistent with the requirements of this LDP:
	 Residential (Single Residential Dwelling) building types being House, villa or Cottage; and Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks, garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and
b)	 Retaining walls including those over 3m in height as shown on the LDP. (refer pad and spot levels). Exemption does not constitute consent from JTAO
D)	Exemption does not constitute consent from JTAO Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit.
modifie	rs, retaining walls, batters or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or ed without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be acted up to a Secondary Boundary.

The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development the Role of the proposals pursuant to this LDP.



JINDEE LOCAL DEVELOPMENT PLAN No. 12.0 PUBLIC AND PRIVATE REALM REQUIREMENTS

Unless stated otherwise, the standards and controls contained in the LDP are non-discretional and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorcement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.

15 November 2024

Date

JINDEE	LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 12.0)	LOT 206 TRANSECT T3 LOT TYPE Edge Lot AREA (APPROX M ²) 572 LOT FRONTAGE 14.4m
	m m	Legend Building Type V Villa Type H House Type Image: Specific Design Requirements (refer to Operative Provision No.12) Image: Specific Design Requirements (refer to Operative Provision No.12) Image: Specific Design Requirements refer to Operative Provisions No. 3 and BTL requirements refer to Operative Provision No. 6 Image: Specific Design Requirements refer to Operative Provision No. 6 Image: Specific Design Requirements refer to Operative Provision No. 7 Image: Specific Design Requirements vill be permitted in the Principal Setback (refer to Operative Provision No. 7) Image: Specific Design Requirements vill be permitted in the Principal Setback (refer to Operative Provision No. 7) Image: Specific Design Requirements vill be permitted in the Principal Setback (refer to Operative Provision No. 7) Image: Specific Design Requirements vill be permitted in the Principal Setback (refer to Operative Provision No. 7) Image: Specific Design Requirements vill Departive Provision No. 7) Image: Specific Design Requirements vill Departive Provision No. 7) Image: Specific Design Requirements vill Departive Provision No. 7) Image: Specific Design Requirements vill Departive Provision No. 7) Image: Specific Design Requirements vill Departive Provision No. 7) Image: Specific Design Requirements vill Departive Provision No. 7) Imag

Lot 206 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 206. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to Secondary Boundary Plinth
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	29.00/ 31.10 AHD

Jindee Local Development Plan No 12.0 | Individual Lot Plans | Rev 0 Mod 5. November 2024, ©2024 Studio LFA + Hatch urban solutions

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is perpendicular to the Secondary Boundary, measured 3.53 metres from the Principal Boundary (Lot corner) and 2.95 metres from the Secondary Boundary for a length of 11.59 metres as depicted on the Plan.
b.	Secondary Setback Line	 2a) Is parallel to and located 2.95 metres from the Secondary Boundary within the Lot for a length of 11.5 metres measured from the Principal Setback Line; and 2b) Is located on the Secondary Boundary within the Lot for a distance
		of 15.5 metres measured from the Rear Boundary.
C.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Setback Line (South) within the Lot.
е.	Rear Setback Line	A portion of Side Setback Line (South) may be located on the Side Boundary for a length of 7.4 metres measured from the Rear Boundary.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is located on the Principal Setback Line for a length of 11.59 metres, as depicted on the Plan.
		BTL 2) Is parallel to and located 2.95 metres from the Secondary Boundary 2a for a distance of 11.5 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 75% minimum and BTL 2) 90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba	ck
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
ь.	Encroachments into Secondary Setback	••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.95 metres measured from the Secondary Setback Line. 2b) N/A
c. d.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South) Encroachments into Rear Setback.	Eaves, Shade Devices and Attached Fences.
•••••	 Permitted Encroachments into Rear Setback Extent to which Permitted 	N/A
	Encroachments may encroach into a Rear Setback	

ITEM	DESCRIPTION	REQUIREMENT
3.	Frontage/ Principal Elevation Require	ments
a. ••••• b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation	ve Nil
	 Rear Elevation on or adjacent to rear boundary 	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or
		 opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil
	iv. Secondary Elevation v. Side Elevation (South)	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	•••••••••••••••••	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary
	•••••••••••••••••	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	v. Side Elevation (South)	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
12.	v. Side Elevation (South) Specific Design Requirement	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12. a.	v. Side Elevation (South)	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	v. Side Elevation (South) Specific Design Requirement Is there a Specific Design	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR").
a.	v. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot?	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). tion Storage for 3 bins provided within the
a. 13.	v. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR").
a. 13. a.	 v. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location 	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). Storage for 3 bins provided within the Lot and screened from public view
a. 13. a. b.	 v. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b. 14.	 v. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14. 15.	 v. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR"). Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative

JINDEE	LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 12.0)		LOT TRANSECT LOT TYPE AREA (APPROX M ²) LOT FRONTAGE	207 T3 Interior Lot 462 16.2m
850		V H (SDR) 31.10	d g Type Villa Type House Type Specific Design Requirements (refer to Operative Provision N Development Area (Subject to BTL requirements refer to Ope No. 6) Build-to-line (BTL) (refer to Op Datum and Pad Level (refer Op Spot Levels Permitted Encroachment Zon and other Encroachment Zon and other Encroachment Zon Setback (refer to Operative Pro Landscaping (Landscaping ha in the Architectural Standards Entry Steps Indicative Retaining Wall Loca Indicative Retaining Wall Type No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (South) Rear Boundary Proposed Light Pole Location	o Site Coverage, Setback and erative Provisions No. 3 and erative Provision No. 6) perative Provision No. 5) the - Zone in which Verandahs I be permitted in the Principal ovision No. 7) is the meaning attributed to it for Jindee)

Lot 207 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 207. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	29.00/ 31.10 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and located 6.0 metres from the Principal Boundary, within the Lot.
 b.	Secondary Setback Line	N/A
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of Side Setback Line South may be located on the Side Boundary for a length of 8.08 metres, measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL is parallel to and located on the Principal Setback Line, measured 14.2 metres from the Side Setback Line (North or South).
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line. The Verandah is required to encroach a minimum of 2.0 metres into the Permitted Encroachment Zone.
b.	Encroachments into Secondary Set	tback
	i. Permitted Encroachments into Secondary Setback.	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (North and	Eaves, Shade Devices and Attached Fences.
d.	South) Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
	Frontage/ Principal Elevation Re	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building	Straight Front, Projecting Front,
	Elevation Types	a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	d above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

REQUIREMENT

ITEM DESCRIPTION

JINDEE	Local Development Plan Individual Lot Plan (LDP No. 12.0)		LOT TRANSECT LOT TYPE AREA (APPROX M ²) LOT FRONTAGE	208 T3 Interior Lot 606 21.45m
N O	x y	V H (SDR) 31.10 + 30.50	ng Type Villa Type House Type Specific Design Requirements (refer to Operative Provision N Development Area (Subject to BTL requirements refer to Ope No. 6) Build-to-line (BTL) (refer to Op Datum and Pad Level (refer O Spot Levels	o Site Coverage, Setback and erative Provision No. 3 and erative Provision No. 6) perative Provision No. 5) e - Zone in which Verandahs I be permitted in the Principal ovision No. 7) is the meaning attributed to it for Jindee)
Scale 1:500		<u>≉</u> ⊸•	Proposed Light Pole Location	

Lot 208 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 208. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a. b. c.	Maximum No of Storeys Maximum External Wall Height Lot Datum (from which Building Height is measured)	••••••

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A 2a) Is parallel to and located 1.0 metre from the Side Boudary North for a length of 17.4 metres measured from the Principal Setback Line.
		2b) Is parallel to and located 1.9 metres from the Side Boundary North for a length of 3.73 metres measured from the extent of the stairs.
		2c) A portion of the Side Setback Line North may be located on the Side Boundary for a length of 7.18 metres, measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
e.	Rear Setback Line	ls parallel to and located 1.0 metre from the Rear Boundary within the Lot.
		A portion of Rear Setback Line may be located on the Rear Boundary for a length of 8.05 metres measured from the Side Boundary North.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line, for a length of 18.13 metres within the Lot.
g. h.	BTL Percentage Required Parapet Wall Location	75% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
• • • • • •	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line. The Verandah is required to encroach a minimum of 2.0 metres into the Permitted Encroachment Zone.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted	N/A

ITEM	DESCRIPTION	REQUIREMENT		
8.	Frontage/ Principal Elevation Requirements			
a.	Required Private Frontage Type	Verandah		
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.		
9.	Garaging, Parking and Vehicle Acce	255		
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays		
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil		
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (South), Rear Boundary		
d.	Permitted Garage Disposition	Rear Direct.		
10.	Attached Fencing and Sideyard Wa	lling		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor and al	DOVE		
	i. Principal Elevation	Nil		
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil		
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side 		
	iv. Secondary Elevation v. Side Elevation (North)	Boundary, unless Screened. N/A Open Outlook. • Openings permitted. • Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless		
	vi. Side Elevation (South)	Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.		
12.	Specific Design Requirement			
a.	Is there a Specific Design Requirement applicable to this Lot?	No		
13.	Refuse storage enclosures and colle	ection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		

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LOT 209 T3 TRANSECT LOT TYPE AREA (APPROX M²) 515 LOT FRONTAGE 16m

Edge Lot

Legend 6.¹¹4 Building Type 28.5 Villa Type v н House Type Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No 6) 3.00- († Build-to-line (BTL) (refer to Operative Provision No. 6) 2h 31.02 Datum and Pad Level (refer Operative Provision No. 5) 28.00 + 28.50 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) STREET FR Mandatory 2 Storeys 28.50-0 30.50 2a Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee) 29.00-0 Entry Steps 29.00 A-30.00 30.00 Indicative Retaining Wall Locations N 28 50 Indicative Retaining Wall Type 2 ф \$30.00 D-28.50 No Vehicular Access Indicative Services Area **A**-30 Principal Boundary 1 2a + 2b Secondary Boundary 3 Side Boundary (North) 5m 10m 15m 20m 25m Scale 1:500 Rear Boundary 4 Proposed Light Pole Location

Lot 209 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 209. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to Secondary Boundary Plinth
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Mandatory No of Storeys	2 storeys measured from 28.32 metre datum height, as shown hatched on Plan.
С.	Maximum Height	7.5 metres
d.	Lot Datum (from which Building Height is measured)	28.32/ 31.02 AHD

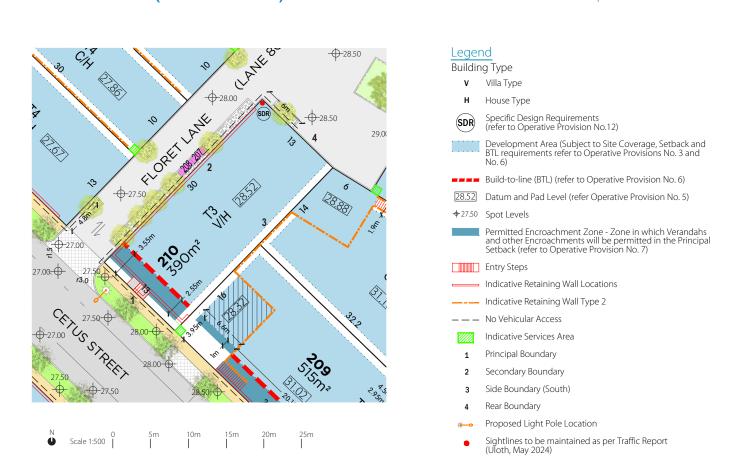
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.5 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.95 metres from the Secondary Boundary, for a length of 20.15 metres measured from the Principal Setback Line.
		2b) Is parallel to and located 3.95 metres from the Secondary Boundary within the Lot for a distance of 7.6 metres measured from the Rear Boundary.
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	N/A
е.	Rear Setback Line	Is parallel to and located 1.0 metre from the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located on the Principal Setback Line for a length of 12.05 metres, measured from the Secondary Setback Line.
		BTL 2) Is parallel to and located on the Secondary Setback Line (2a) for a length of 20.15 metres ,measured form the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 80% minimum.
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into	Verandahs, Pergola, Balconies,
	Principal Setback	Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. The Verandah is required to encroach a minimum of 2.0 metres into the Permitted Encroachment Zone.
b.	 Encroachments into Secondary Setback Permitted Encroachments into Secondary Setback. 	2a) Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
		2b) Juliette Balcony, Eaves, Bay Windows.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.95 metres measured from the Secondary Setback Line
с.	Encroachments into Side Setback	2b) 1.0 metre measured from the Secondary Setback Line 2b.
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requir	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Villa House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North), Rear Boundary and a portion of the Secondary Boundary as depicted on the Plan.
 d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to	ve Nil Nil
	rear boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side
	iv. Secondary Elevation v. Side Elevation (North)	Boundary, unless Screened. Nil Open Outlook
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Rear Boundary	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment or Double Verandah.
13.	Refuse storage enclosures and collec	tion
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions

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LOT 210 TRANSECT T3 LOT TYPE AREA (APPROX M²) 390 LOT FRONTAGE 13m

Edge Lot



Lot 210 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 210. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.52 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
С.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	ls parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
е.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line for a length of 12 metres measured from the Secondary Boundary.
g. h.	BTL Percentage Required Parapet Wall Location	90% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	tback
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	••••••
•••••	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
••••••	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Court.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
		Screened.
	iv. Secondary Elevation v. Side Elevation (North) vi. Side Elevation (South)	
	v. Side Elevation (North)	Screened. Nil N/A
	v. Side Elevation (North)	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
12	v. Side Elevation (North) vi. Side Elevation (South)	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
12. a.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated)
	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR
a.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Laneway Surveillance.
	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Laneway Surveillance. collection Storage for 3 bins provided within the Lot and screened fror
a. 13.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and comparison 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Laneway Surveillance. collection Storage for 3 bins provided
a. 13. a.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c Required Bin Storage Required Bin Collection Point Location (required by the City of 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Laneway Surveillance. collection Storage for 3 bins provided within the Lot and screened from public view
a. 13. a. b.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and content of the storage Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Laneway Surveillance. collection Storage for 3 bins provided within the Lot and screened fror public view N/A Refer - Private Realm
a. 13. a. b.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Laneway Surveillance. collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. 13. a. b. 14. 15.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and contemporation (Required Bin Storage) Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR SDR) Laneway Surveillance. collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm

JINDEE	Local Development plan Individual Lot plan (LDP No. 12.0)	LOT 211 TRANSECT 74 LOT TYPE Edge Lot AREA (APPROX M ²) 390 LOT FRONTAGE 13m
CH 3 4 5 5 5 5 5 5 5 5 5 5 5 5 5	Support No No	Legend Building Type c Cottage Type H House Type Specific Design Requirements (refer to Operative Provision No.12) Correction Build-to-line (BTL) (refer to Operative Provision No. 3 and Build-to-line (BTL) (refer to Operative Provision No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 2750 Datum and Pad Level (refer Operative Provision No. 5) 42750 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachment Sone - Zone in which Verandahs and ther Encroachment

Lot 211 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 211. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

TEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	1. Verandah attached to internal stair wall (Principal Boundary) as shown on Plan
		2. Verandah attached to Secondary Boundary Plinth as shown on Plan
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot. 2a) Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 7.3 metres measured from the Principal Setback Line.
		2b) Is located on the Secondary Boundary within the Lot for a distance of 18.8 metres measured from the Rear Boundary.
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a distance of up to 12.0 metres measured from the Rear Boundary.
d. e.	Side Setback Line (South) Rear Setback Line	N/A Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 3.9 metres from the Principal Bonundary for a length of 9.65 metres measured from the Secondary Setback Line, as shown on the Plan.
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 7.3 metres measured from the Principal Setback Line as shown on the Plan.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	oack
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A
	Encroachments into Side Setback	
с. ••••••	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Reg	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Wa	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this	Yes - One required (mandated) SDR
	Lot?	SDR) Corner Treatment
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	view N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

JINDEE	LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 12.0)	LOT212TRANSECTT4LOT TYPEInterior LotAREA (APPROX M²)300LOT FRONTAGE10m
C ₁ 3 3 2 5 2 5 0 2 5 0 2 5 0 2 5 0 2 5 0 0 2 5 0 0 2 5 0 0 0 2 5 0 0 0 0 0 0 0 0 0 0 0 0 0	Solution Solution <td< th=""><th>Legend Building Type C Cottage Type H House Type Specific Design Requirements (refer to Operative Provision No.12) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provision No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) Datum and Pad Level (refer Operative Provision No. 5) 42800 Spot Levels Permitted Encroachment Zone - Zone in which Verandah and other Encroachment Zone - Zone in which Verandah Side Boundary (North) 3 Side Boundary (North) 4 Rear Boundary Were Proposed Light Pole Location</th></td<>	Legend Building Type C Cottage Type H House Type Specific Design Requirements (refer to Operative Provision No.12) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provision No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) Datum and Pad Level (refer Operative Provision No. 5) 42800 Spot Levels Permitted Encroachment Zone - Zone in which Verandah and other Encroachment Zone - Zone in which Verandah Side Boundary (North) 3 Side Boundary (North) 4 Rear Boundary Were Proposed Light Pole Location

Lot 212 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 212. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with Pergola or Verandah, attached to the internal stair wall as shown on the Plan.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.86 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
а. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot. N/A. Is parallel to and located 1.0 metre from Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor andi. Principal Elevationii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions

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LOT 213 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior Lot

Legend Building Type Cottage Type с PASSAGE 08 н House Type Specific Design Requirements (refer to Operative Provision No.12) (SDR) C/H Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 25.00-€ 28.04 Datum and Pad Level (refer Operative Provision No. 5) + 28.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) C/A Reda % Entry Steps 4 (ANE 8C) \$28.00 Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access CH RE Indicative Services Area ANE Principal Boundary 1 2 Side Boundary (North) E Side Boundary (South) 3 4 Rear Boundary Proposed Light Pole Location 5m 10m 5m 20m 25m Scale 1:500 Sightlines to be maintained as per Traffic Report (Uloth, May 2024)

Lot 213 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 213. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with Pergola or Verandah, attached to the internal stair wall as shown on the Plan.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.04 AHD

	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A. Is parallel to and located 1.0 metre from Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum
		•••••••••••••••••••••••••••••••••••••••
h.	Required Parapet Wall Location	N/A
h. 7.	Required Parapet Wall Location Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time)
•••••		The extent to which any Encroachment can encroach into any setback must take into account the BCA (as
•••••		The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
7.	Permitted Encroachments Encroachments in Principal Setbac i. Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.
7.	Permitted Encroachments Encroachments in Principal Setbace i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.
a.	Permitted Encroachments Encroachments in Principal Setbace i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.
7.	Permitted Encroachments Encroachments in Principal Setbacc i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Se i. Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. N/A
a.	Permitted Encroachments Encroachments in Principal Setbacc i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Set i. Permitted Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. N/A
a.	Permitted Encroachments Encroachments in Principal Setbace i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. tback N/A N/A Eaves, Shade Devices and
a. b. c.	Permitted Encroachments Encroachments in Principal Setbacc i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback.	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. tback N/A N/A N/A

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle Access		
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)	
d.	Permitted Garage Disposition	Rear Direct	
10.	Attached Fence and Sideyard Wa	lling	
a.	Type required	Attached Fence	
11.	Privacy		
а.	Privacy Restrictions on 1st floor and	l above	
	i. Principal Elevation	Nil	
	ii. Rear Elevation on or adjacent to rear boundary	Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback 	
		a minimum of 4.5m from a Side Boundary, unless Screened.	
•••••	iv. Secondary Elevationv. Side Elevation (North)	N/A Open Outlook	
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook 	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		is a Celestial Window; oris Screened; or	
12	Specific Decign Requirement	• is fitted with Opaque Glass.	
12.	Specific Design Requirement Is there a Specific Design	Νο	
a.	Requirement applicable to this Lot?	NO	
13.	Refuse storage enclosures and c	ollection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



LOT 214 TRANSECT 74 LOT TYPE Interi

AREA (APPROX M²)

LOT FRONTAGE

T4 Interior Lot 300 10m

Le Bui S \$-25.00 10B C/A C/H 28 **⊕**2 C/H ioon? R.F.F. CIH BOOM 0 -28.50 LANESC $C_{I_{f}}^{T_{f}}$ 0 5m | 10m 15m 20m 25m | 0 Scale 1:500 Ö

egend				
ilding Type				
Cottage Type				
House Type				
Specific Design Requirements (refer to Operative Provision No.12)				
Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)				
Build-to-line (BTL) (refer to Operative Provision No. 6)				
Datum and Pad Level (refer Operative Provision No. 5)				
Spot Levels				
Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)				
Entry Steps				
Indicative Retaining Wall Locations				
Indicative Retaining Wall Type 2				
No Vehicular Access				
Indicative Services Area				
Principal Boundary				
Side Boundary (North)				
Side Boundary (South)				
Rear Boundary				
Proposed Light Pole Location				

Lot 214 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 214. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with Pergola or Verandah, attached to the internal stair wall as shown on the Plan.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	28.41 AHD

	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A. Is parallel to and located 1.0 metre from Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum
		•••••••••••••••••••••••••••••••••••••••
h.	Required Parapet Wall Location	N/A
h. 7.	Required Parapet Wall Location Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time)
•••••		The extent to which any Encroachment can encroach into any setback must take into account the BCA (as
•••••		The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
7.	Permitted Encroachments Encroachments in Principal Setbac i. Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.
7.	Permitted Encroachments Encroachments in Principal Setbace i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.
a.	Permitted Encroachments Encroachments in Principal Setbace i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.
7.	Permitted Encroachments Encroachments in Principal Setbacc i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Se i. Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. N/A
a.	Permitted Encroachments Encroachments in Principal Setbacc i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Set i. Permitted Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. N/A
a.	Permitted Encroachments Encroachments in Principal Setbace i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. tback N/A N/A Eaves, Shade Devices and
a. b. c.	Permitted Encroachments Encroachments in Principal Setbacc i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback.	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. tback N/A N/A N/A

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
а.	Privacy Restrictions on 1st floor and	l above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback
		a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevationv. Side Elevation (North)	N/A Open Outlook
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
12	Specific Decign Requirement	• is fitted with Opaque Glass.
12.	Specific Design Requirement Is there a Specific Design	Νο
a.	Requirement applicable to this Lot?	NO
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 215 TRANSECT T4 LOT TYPE Corn

AREA (APPROX M²)

LOT FRONTAGE

T4 Corner Lot 300 10m



Lot 215 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 215. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with Pergola or Verandah, attached to the internal stair wall as shown on the Plan.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.78 AHD

TEM	DESCRIPTION	REQUIREMENT
i	Setbacks and Build-to-Lines	
1.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line (North or South)
		within the Lot.
). 	Secondary Setback Line Side Setback Line (North)	N/A. Is parallel to and located 1.0 metre from Side Boundary (North) within the Lot.
ł.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take
		into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	ζ
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
••••• b.	Encroachments into Secondary Set	hack
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
C.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Rec	quirements
a. b.	Required Private Frontage Type Permitted Principal Building	Verandah Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Wa	Attached Fence
a. 11.	Type required Privacy	Attached rence
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side
		Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
12.	Specific Design Requirement	• is fitted with Opaque Glass.
a.	ls there a Specific Design Requirement applicable to this	Yes - Two required (mandated) SDR's
	Lot?	SDR1) A Gable End
		SDR 2) A Gable End which is required to be the same width as the Gable End in SDR 1
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
	-	



LOT 216 TRANSECT T4 LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

Edge Lot

Legend Building Type Cottage Type STREET TE С APT Apartment House Type Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 216 ROM Build-to-line (BTL) (refer to Operative Provision No. 6) 28.78 Datum and Pad Level (refer Operative Provision No. 5) CIT OF CONTROL OF CONT + 26.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations (LANE BA) Indicative Retaining Wall Type 2 No Vehicular Access 30 Indicative Services Area Principal Boundary 1 2a + 2b Secondary Boundary 2, -28.50 Side Boundary (South) 3 29.00-0 Rear Boundary 4 Proposed Light Pole Location 5m 10m 5m 20m 25m Scale 1:500

Lot 216 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 216. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, Apartment House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.78 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal
b.	Secondary Setback Line	Boundary, within the Lot. 2a) Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 12.0 metres measured from the Principal Setback Line.
		2b) Is located on the Secondary Boundary within the Lot for a distance of 15.56 metres measured from the Rear Boundary.
с.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Secondary Setback Line as shown on the Plan.
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 12.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 70% minimum and BTL 2) 100%
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setk	back
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary	2a) 2.35 metres measured from the Secondary Setback Line (2a).
	Setback	2b) N/A
С.	Encroachments into Side Setback i. Permitted Encroachments	Eaves, Shade Devices and
	into Side Setback (South)	Attached Fences.
d.	i. Permitted Encroachments	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Verandah
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South).
d.	Permitted Garage Disposition	Rear Direct, Rear Side Court.
10.	Attached Fence and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	d above
	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent	Nil
	to rear boundary	i vil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Balconies to be setback a minimum of 4.5m from a Side
	iv. Secondary Elevation v. Side Elevation (North)	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	v. Side Elevation (North)	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A
	•••••••••••••••••••••••••••••••••••••••	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil
	v. Side Elevation (North)	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
	v. Side Elevation (North)	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
12.	v. Side Elevation (North) vi. Side Elevation (South)	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
12. a.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated)
	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR. SDR) Double Verandah.
a.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR. SDR) Double Verandah.
a. 13.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and comparison 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR. SDR) Double Verandah. ollection Storage for 3 bins provided within the Lot and screened from public
а. 13. а.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and construction Required Bin Storage Required Bin Collection Point Location (required by the City of 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR. SDR) Double Verandah. ollection Storage for 3 bins provided within the Lot and screened from public view
a. 13. a. b.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and contemporation Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR. SDR) Double Verandah. ollection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b. 14.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and contemporation Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR. SDR) Double Verandah. ollection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14. 15.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and contemporation Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - One required (mandated) SDR. SDR) Double Verandah. ollection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions

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LOT 217 TRANSECT 74 LOT TYPE Edge AREA (APPROX M²) 431 LOT FRONTAGE 14m

217 T4 Edge Lot 431

Legend Building Type Cottage Type С н House Type Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 2b(2323 Build-to-line (BTL) (refer to Operative Provision No. 6) 30.0 25.35 Datum and Pad Level (refer Operative Provision No. 5) 8.₈ + 23.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps 0 23. Indicative Retaining Wall Locations Ś Indicative Retaining Wall Type 2 ⊕-25.00 No Vehicular Access 3.00 Indicative Services Area 25.50 Principal Boundary 1 2a + 2b Secondary Boundary 25 50-A Side Boundary (North) 3 4 Side Boundary (South) Rear Boundary 5 5m 10m 15m 20m 25m 0 Scale 1:500 Proposed Light Pole Location

Lot 217 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 217. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.23/ 25.35 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 12.0 metres measured from the Principal Setback Line.
с.	Side Setback Line (North)	2b) Is located on the Secondary Boundary within the Lot for a distance of 15.45 metres measured 1.0 metre from the Side Boundary (North). Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of Side Setback Line may be located on the Side Boundary; applicable only to the lower garage zone.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Secondary Setback Line as shown on the Plan.
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 12.0 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 90% minimum and BTL 2) 100% N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
D.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line (2a). 2b) N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
	Encroachments into Rear Setback.	••••••

	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requir	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Double Verandah
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South).
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	g
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to	ove Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevationv. Side Elevation (North)	Nil Open Outlook
	•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••
	v. Side Elevation (North)	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	v. Side Elevation (North)	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary
	v. Side Elevation (North)	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	v. Side Elevation (North) vi. Side Elevation (South)	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12. a.	v. Side Elevation (North) vi. Side Elevation (South)	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
а.	 v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment
a. 13.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment
a. 13. a.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment
a. 13. a. b.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment
a. 13. a. b. 14.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment
a. 13. a. b.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment Storage for 3 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions
a. 13. a. b. 14.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment Storage for 3 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14. 15.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is a Celestial Window; or is fitted with Opaque Glass. Yes - One required (mandated) SDR' SDR) Corner Treatment Storage for 3 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions

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LOT 218 TRANSECT T4

LOT TYPE

AREA (APPROX M²)

LOT FRONTAGE

T4 Corner Lot 300 10m

Legend Building Type 3 Cottage Type С 8.₀ н House Type Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 0 Build-to-line (BTL) (refer to Operative Provision No. 6) 25.71 Datum and Pad Level (refer Operative Provision No. 5) ⊕-25.00 ⊕-23.00 + 25.50 Spot Levels ~0 ~° 23.23 25.5 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 2305 25.50 🕁 Entry Steps Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area 25.50-€ 26.00-Principal Boundary 1 2 Secondary Boundary Side Boundary (North) 3a + 3b 25 50-4 Side Boundary (South) 5 Rear Boundary 5m 10m 15m 20m 25m 0 Scale 1:500 Proposed Light Pole Location

Lot 218 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 218. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.23/ 25.71 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 5.65 metres measured from the Principal Setback Line.
C.	Side Setback Line (North)	3a) Is parallel to and located on the Side Boundary (North), for a length of 5.0 metres measured from the Secondary Boundary within the Lot.
		3b) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of Side Setback Line 3b may be located on the Side Boundary North for a length of 7.3 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
	Rear Setback Line	A portion of the Side Setback Line South is required to be parallel to and located 1.2 meters from the Side Boundary South; applicable only to the lower garage zone.
e.	•••••••••••••••••••••••••••••••••••••••	Is located on the Rear Boundary within the Lot.
t.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 6.65 metres, measured from the Side Setback Line (South) as shown on the Plan.
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 5.65 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 90% minimum and BTL 2) 100% N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South and North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT	
8.	Frontage/ Principal Elevation Require		
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, Double Verandah	
9.	Garaging, Parking and Vehicle Access	s	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South)	
d.	Permitted Garage Disposition	Rear Direct	
10.	Attached Fence and Sideyard Walling]	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and abc i. Principal Elevation ii. Rear Elevation on or adjacent to	ve Nil Nil	
	rear boundary	1111	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
	iv. Secondary Elevation	N/A	
	v. Side Elevation (North)	Open Outlook	
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook 	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.	
12.	Specific Design Requirement	· Is nated with Opaque class.	
a.	Is there a Specific Design	Yes - One required (mandated) SDR	
	Requirement applicable to this Lot?	SDR) Corner Treatment or Double Verandah.	
13.	Refuse storage enclosures and collec	tion	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes	
	Landscaping + Street Trees	Refer - Private Realm Operative	
14.		Provisions	
14. 15.	External Fixtures	Refer - Private Realm Operative Provisions	
	External Fixtures Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative	
15.	Design Outcomes – Additional	Refer - Private Realm Operative Provisions Refer - Private Realm Operative	

JINDEE	LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 12.0)		LOT TRANSECT LOT TYPE (APPROX M ²) DT FRONTAGE	219 T4 Interior Lot 300 10m
1 1 1 1 0 23.00 4 0 0 23.00 4 0 0 1 0 0 0 1 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Image: state stat	Developm BTL require Build-to-lir (25.71) Datum and ◆25.50 Spot Level Permitted and other Setback (re Indicative I Indicative I Indicative I Indicative I Principal B 2a+2b Side Bourne 4 Rear Bourne	e esign Requirements perative Provision N ent Area (Subject to ements refer to Ope he (BTL) (refer to Op d Pad Level (refer O s Encroachment Zon Encroachments wil efer to Operative Pro s Retaining Wall Loca Retaining Wall Type lar Access Services Area oundary dary (North) dary (South)	o Site Coverage, Setback and erative Provisions No. 3 and erative Provision No. 6) perative Provision No. 5) e - Zone in which Verandahs I be permitted in the Principal ovision No. 7) tions

Lot 219 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 219. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.23/ 25.71 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot. N/A 2a) Is parallel to and located 1.0 metre from the Side Boundary
		(North) within the Lot.2b) Is parallel to and located 1.9 metres from the Side Boudary (North) for a length of 7.3 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	3a) Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		3b) Is located on the Side Boundary (South) for a length of 7.3 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setback	(
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments	Eaves, Shade Devices and Attached Fences.
 d.	Encroachments into Rear Setback.	
u.	•••••••••••••••••••••••••••••••••••••••	N/A
8.	Frontage/ Principal Elevation Red	nuirements
о. а.		Verandah
 b.	Required Private Frontage Type Permitted Principal Building	Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fence and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	d above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 220 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

Legend 0-23.00 Building Type $\langle \rangle$ Cottage Type с - ()-23.00 0 (LANE 88) House Type н Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 23.05 10 2b APUSLANE Build-to-line (BTL) (refer to Operative Provision No. 6) Datum and Pad Level (refer Operative Provision No. 5) 3b 25.39 +25.50 Spot Levels 10 19 23.05 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) P.D 22.86 Entry Steps 300m2 Indicative Retaining Wall Locations ৵ PASSAGE 08 Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area 13.750 1 Principal Boundary Side Boundary (North) 2a + 2b Side Boundary (South) 3a + 3b 25.00 Rear Boundary 4 Proposed Light Pole Location Sightlines to be maintained as per Traffic Report (Uloth, May 2024) 5m 10m 15m 20m 25m Scale 1:500

Lot 220 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 220. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.05/ 25.39 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line (North or South) within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A 2a) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		2b) Is located on the Side Bondary (North) for a length of 7.3 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	3a) Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		3b) Is parallel to and located 1.9 metres from the Side Boundary (South) for a length of 7.3 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
 g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North (2a) and South)	Eaves, Shade Devices and Attached Fences.
. d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fence and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	l above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 221 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

⊕-23.00 Legend 0 (LANE 88) Building Type Cottage Type С (A H н House Type 23.0 APUSLANE Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 1.200 2305 2b 9 Datum and Pad Level (refer Operative Provision No. 5) 25.07 +25.00 Spot Levels 3b Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 22.86 **^**> Entry Steps Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access PASS 23.00-(Indicative Services Area 1 Principal Boundary 25.00 Side Boundary (North) 2a + 2b 23.00 Side Boundary (South) + 3b Rear Boundary 4 0A 50 Proposed Light Pole Location Sightlines to be maintained as per Traffic Report (Uloth, May 2024) 5m 10m 15m 20m 25m Scale 1:500 ä

Lot 221 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 221. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.05/ 25.07 AHD

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ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot. N/A 2a) Is parallel to and located 1.0 metre from the Side Boundary
		 (North) within the Lot. 2b) Is parallel to and located 1.2 metres from the Side Boundary (North) for a length of 7.3 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	3a) Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		3b) Is located on the Side Boundary (South) for a length of 7.3 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South (3a))	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Red	quirements
a.	Required Private Frontage Type	Verandah

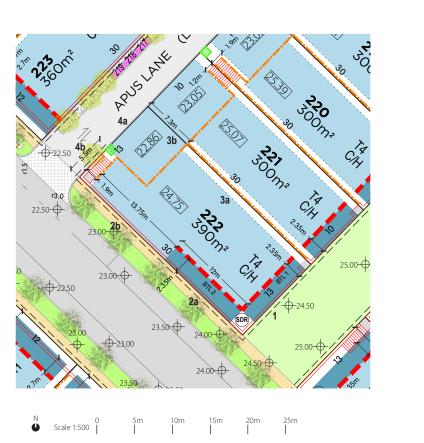
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fence and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	d above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	 iii. Rear elevation internal to a Lot iv. Secondary Elevation v. Side Elevation (North) 	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. N/A Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback
	vi. Side Elevation (South)	a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 222 TRANSECT T4 LOT TYPE AREA (APPROX M²) 390

Edge Lot

LOT FRONTAGE 13m



Legend Building Type Cottage Type С н House Type Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 24.75 Datum and Pad Level (refer Operative Provision No. 5) +24.50 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area 1 Principal Boundary 2a + 2b Secondary Boundary 3b Side Boundary (North) 4a + 4b Rear Boundary Proposed Light Pole Location

Lot 222 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 222. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.86/ 24.75 AHD

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ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 12 metres measured from the Principal Setback Line.
с.	Side Setback Line (North)	2b) Is located on the Secondary Boundary within the Lot for a distance of 13.75 metres measured1.9 metres from the Rear Boundary.3a) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		3b) Is located on the Side Boundary (North) for a length of 7.3 metres measured from the Rear Boundary.
d. e.	Side Setback Line (South) Rear Setback Line	N/A 4a) Is located on the Rear Boundary within the Lot.
		4b) Is parallel to and located 1.9 metres from the Rear Boundary for a length of 5.5 metres measured from the Secondary Boundary.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 9.65 metres, measured from the Secondary Setback Line 2a, as shown on the Plan.
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 12.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Principal Setback Line.
С.	Encroachments into Side Setback	2b) N/A
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
 d.	Encroachments into Rear Setback.	

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Verandah
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fence and Sideyard Wall	ing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	above
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Paudany, undars Carpord
•••••		Boundary, unless Screened.
•••••	iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook
		Openings permitted.
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
•••••	vi. Side Elevation	Screened. N/A
12.		N/A
	Specific Design Requirement	Vac. One required (mandated) CDD
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR
		SDR) Double Verandah.
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 223 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Edge Lot

Legend **⊕**-22.50 Ś Building Type Cottage Type 11.2 с 1 н House Type Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 22.6 $\langle \rangle$ (A H Build-to-line (BTL) (refer to Operative Provision No. 6) - () -23.0 23.05 Datum and Pad Level (refer Operative Provision No. 5) (LANE 88) 23.0 +22.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 10 H APUSLANE Entry Steps Indicative Retaining Wall Locations 10 1.20 2305 Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area 22.86 N 22.00 21.50 1 Principal Boundary **^**3 2 Secondary Boundary 22.50 3 Side Boundary (North) Rear Boundary 4 r3 0 Proposed Light Pole Location Sightlines to be maintained as per Traffic Report (Uloth, May 2024) 5m 10m 15m 20m 25m Scale 1:500

Lot 223 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 223. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.05 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.7 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 11.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted	2.7 metres measured from
	Encroachments may encroach into the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Set	back
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Rec	quirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с. d.	Lot boundaries where Vehicle Access is prohibited Required Garage Disposition	Principal Boundary, Secondary Boundary, Side Boundary (North). Rear Direct
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	 iii. Rear elevation internal to a Lot iv. Secondary Elevation v. Side Elevation (North) 	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
a. b.	Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Storage for 3 bins provided within the Lot and screened from public view N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 224 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

APU 22.68 Legend Building Type Cottage Type 6 С House Type н **⊕**-22.50 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 22.68 Datum and Pad Level (refer Operative Provision No. 5) +21.50 Spot Levels ふ Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) ·CH Entry Steps CLANE Indicative Retaining Wall Locations (A H Indicative Retaining Wall Type 2 APUSLANE PREF TAB No Vehicular Access Indicative Services Area 1 Principal Boundary 0 2 Side Boundary (North) 3 Side Boundary (South) 22.00 N Rear Boundary $\frac{1}{1}$ 4 62 ŝ 655 Proposed Light Pole Location + 22.50Sightlines to be maintained as per Traffic Report (Uloth, May 2024) 5m 10m 5m 20m 25m Scale 1:500

Lot 224 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 224. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
а.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A
	•••••••••••••••••	•••••••••••••••••••••••••••••••••••••••

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.68 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and 3.7 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	ls parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
·····	BTL Percentage	90% minimum.
g. h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	••••••••••••••••••
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Projecting Fronts, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
	Encroachments into Secondary Sei	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South).	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	••••••
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
	Required Private Frontage Type	Verandah
a.	nequileu i ilvale i lonlage iype	(crandan)

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
а.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
а.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



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LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 12.0)

LOT FRONTAGE

T4 Edge Lot 420 14m

Legend

Buildin	Building Type		
с	Cottage Type		
н	House Type		
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
22.12	Datum and Pad Level (refer Operative Provision No. 5)		
- ∲ -21.00	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Entry Steps		
	Indicative Retaining Wall Locations		
	Indicative Retaining Wall Type 2		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Secondary Boundary		
3	Side Boundary (South)		
4	Rear Boundary		
֥	Proposed Light Pole Location		
•	Sightlines to be maintained as per Traffic Report (Uloth, May 2024)		

Lot 225 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 225. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

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Specific Requirements

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Scale 1:500

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5m I 10m

15m

20m

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A
	••••••••••••••••••	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.12/ 21.86 AHD

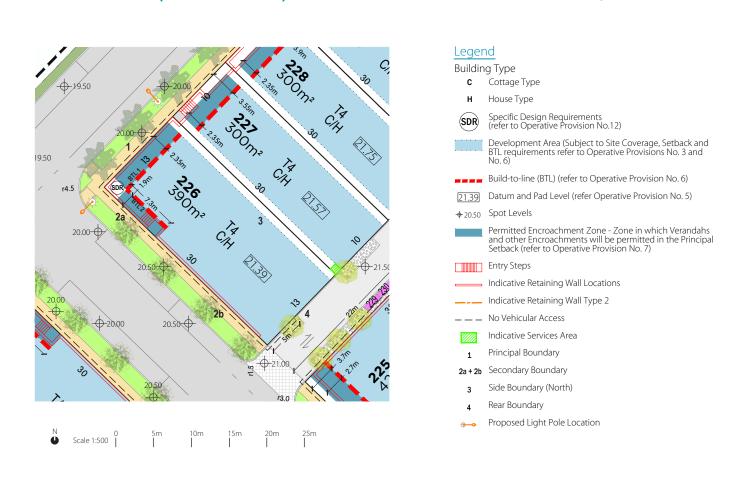
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, measured 1.0 metre from the Side Boundary (South) within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
с.	Side Setback Line (North)	N/A
d.	Side Setback (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 13.0 metres, measured 1.0 metre from the Side Boundary (South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbacl	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may	2.7 metres measured from the Principal Setback Line. An
	encroach into the Principal Setback	exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South).	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (South), Rear Boundary.
d.	Required Garage Disposition	Rear Direct, Rear Back Court.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	 Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot 	Nil Nil • Openings (other than Balconies, Verandahs or
		 Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevationv. Side Elevation (North)vi. Side Elevation (South)	Nil N/A Restricted Outlook
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions

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LOT 226 T4 TRANSECT LOT TYPE AREA (APPROX M²) 390 LOT FRONTAGE 13m

Edge Lot



Lot 226 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 226. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.39 AHD

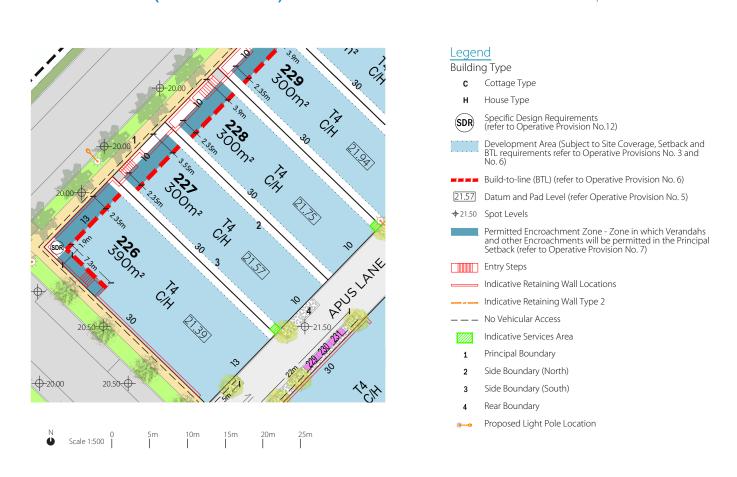
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, measured from the Secondary Setback LIne (2a) within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 1.9 metres from the Secondary Boundary, for a length of 7.3 metres measured from the Principal Setback Line.
		2b) Is located on the Secondary Boundary within the Lot for a distance of 20.35 metres measured from the Rear Boundary.
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
 d.	Side Setback Line (South)	N/A
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.1 metres, measured from the Secondary Setback Line as shown on the Plan.
		BTL 2) Is parallel to and located 1.9 metres from the Secondary Boundary for a distance of 7.3 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	Terminating Vista Element. 2a) 1.9 metres measured from the Secondary Setback Line (2a)
С.	Encroachments into Side Setback	2b) N/A
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	Rear Setback	

	DESCRIPTION	REQUIREMENT	
8.	Frontage/ Principal Elevation Req	uirements	
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Double Verandah	
9.	Garaging, Parking and Vehicle Acc	ccess	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North), and a portion of the Rear Boundary as depicted on the Plan.	
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.	
10.	Attached Fence and Sideyard Wall	ling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and a	above	
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; 	
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
	iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook	
		 Openings permitted. 	
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened 	
	vi Side Elevation (South)	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.	
	vi. Side Elevation (South)	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.	
12.	vi. Side Elevation (South) Specific Design Requirement	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil	
	vi. Side Elevation (South)	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF	
12. a.	vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot?	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah	
12. a. 13.	 vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and colored 	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah	
12. a.	vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot?	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah	
12. a. 13.	 vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and colored 	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah Ilection Storage for 3 bins provided within the Lot and screened from public	
12. a. 13. a.	 vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of 	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah Ilection Storage for 3 bins provided within the Lot and screened from public view	
12. a. 13. a. b.	vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah Ilection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative	
12. a. 13. a. b. 14.	vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah Ilection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative	
 12. a. b. 14. 15. 	vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - One required (mandated) SDF SDR) Double Verandah Ilection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative	

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LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

227 Interior



Lot 227 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 227. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to internal stair wall as shown on Plan
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.57 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, measured from the Side Setback Line (North or South) within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	95% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setbacl	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and o	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

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LOT 228 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

Legend C/ Building Type ŝ Cottage Type С 0.00 н House Type C/H Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 20 00 C/H Build-to-line (BTL) (refer to Operative Provision No. 6) P. ap -20.0 21.75 Datum and Pad Level (refer Operative Provision No. 5) + 20.00 Spot Levels C/4 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) APUS LANE LANE 88 3 CITA CITA CITA Entry Steps Indicative Retaining Wall Locations 220 Drit Indicative Retaining Wall Type 2 No Vehicular Access C/H Indicative Services Area Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3 an 4 Rear Boundary Proposed Light Pole Location 25m 5m 10m 5m 20m 0 Scale 1:500

Lot 228 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 228. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to internal stair wall as shown on Plan
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.75 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, measured from the Side Setback Line (North or South) within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	95% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setbacl	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle Access		
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).	
d.	Required Garage Disposition	Rear Direct	
10.	Attached Fence and Sideyard W	alling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
	iv. Secondary Elevation	N/A	
	v. Side Elevation (North)	Open Outlook	
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 	
•••••	vi. Side Elevation (South)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		• is a Celestial Window; or	
		is Screened; or	
		• is fitted with Opaque Glass.	
12.	Specific Design Requirement		
a.	Is there a Specific Design Requirement applicable to this Lot?	No	
13.	Refuse storage enclosures and c	ollection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	

JINDEE	Local Development plan Individual Lot plan (LDP No. 12.0)	LOT 229 TRANSECT 74 LOT TYPE Interior AREA (APPROX M ²) 300 LOT FRONTAGE 10m
	Image: series of the series	Legend Building Type c Cottage Type H House Type Image: Specific Design Requirements (refer to Operative Provision No.12) Image: Specific Design Requirements (refer to Operative Provision No.3 and BTL requirements refer to Operative Provision No.3 and No.6) Image: Specific Design Requirements refer to Operative Provision No.3 and No.6) Image: Specific Design Requirements refer to Operative Provision No.3 and No.6) Image: Specific Design Requirements refer to Operative Provision No.5 (Section No.6) Image: Specific Design Requirements refer to Operative Provision No.5 (Section No.6) Image: Specific Design Requirements vill be permitted in the Principal Section No.7) Image: Specific Design Requirements vill be permitted in the Principal Section No.7) Image: Specific Design Requirements vill be permitted in the Principal Section No.7) Image: Specific Design Requirements Vall Locations Image: Specific Design Requirements Vall Type 2 Image: Specific Design Requirements Principal Boundary Image: Specific Design Requirements Principal Boundary Image: Specific Design Requirements Provision No.7) Image: Specific Design Requirements Principal Boundary Image: Specific Design Requirements Principal Boundary Image: Specific Design Proble Location Image: Specific D

Lot 229 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 229. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to internal stair wall as shown on Plan
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.94 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, measured from the Side Setback Line (North or South) within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	95% minimum.
h	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	 Encroachments into Secondary Set Permitted Encroachments into Secondary Setback. 	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Rec	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.

from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; • Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. • Side Elevation (North) • Open Outlook • Openings permitted. • Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. • Vi. Side Elevation (South) • Restricted Outlook • Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened. • Vi. Side Elevation (South) • Restricted Outlook • Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is Screened; or • is fitted with Opaque Glass. 12. Specific Design Requirement a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) 13. Refuse storage enclosures and collection a. Required Bin Storage 5. Storage for 3 bins provided within the Lot and screened fro public view b. Required Bin Collection Point Location (required by the City of Wanneroo) 14. Landscaping + Street Trees Refer - Private Realm Operative Provisions 15. External Fixtures 15. External Fixtures 16. Design Outcomes – Additional Requirements + Controls 17. Exemptions to Planning Approval 18. No modification of building elements provided by Jindee 18. No modification of building elements provided by Jindee	ITEM	DESCRIPTION	REQUIREMENT
minimum number of cars Nil b. Additional garaging requirement for Ancillary Unit, if provided Nil c. Lot boundaries where Vehicle Access is prohibited Principal Boundary, Side Boundary, (North and South). d. Required Garage Disposition Rear Direct 10. Attached Fence and Sideyard Walling a. Type required Attached Fence 11. Privacy Nil a. Privacy Restrictions on 1st floor and above Nil ii. Rear elevation on or adjacent Nil iii. Rear elevation on or adjacent Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs, Terraces on Balconies to be setback 2Dr from Side Boundary unless Screened. v. Side Elevation (North) Open Outlook Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. v. Side Elevation (North) Open Outlook Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened. v. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened. v. Side Elevation (South) Restricted Outlook O	9.	Garaging, Parking and Vehicle A	ccess
for Ancillarý Unit, if provided Principal Boundary, Side Access is prohibited Boundary, (North and South). d. Required Garage Disposition Rear Direct 10. Attached Fence and Sideyard Walling a. a. Type required Attached Fence 11. Privacy a. a. Privacy Restrictions on 1st floor and above i. i. Principal Elevation Nil ii. Rear Elevation on or adjacent Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs or Terraces) to be setback 20r from Side Boundary, unless Screened, or the Opening consists of Celestal Window or or paque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. v. v. Side Elevation (North) Open Outlook vi. Side Elevation (South) Restricted Outlook Vi. Sid	a.		Cottage/ House - 2 bays
Access is prohibited Boundary (North and South). d. Required Garage Disposition Rear Direct 10. Attached Fence and Sideyard Walling a. Type required Attached Fence 11. Privacy Attached Fence a. Privacy Restrictions on 1st floor and above Nil ii. Rear Elevation on or adjacent to rear boundary Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs or Terraces) to be setback 2.00° from Side Boundary unless Screened, or the Opening consists of Celestal Window or opaque glass windows; V. Secondary Elevation N/A v. Side Elevation (North) Open Outlook v. Side Elevation (North) Open Outlook v. Side Elevation (South) Restricted Outlook vi. Side Elevation (South) <th>b.</th> <th></th> <th>Nil</th>	b.		Nil
10. Attached Fence and Sideyard Walling a. Type required Attached Fence 11. Privacy a a. Privacy Restrictions on 1st floor and above Nil ii. Principal Elevation Nil iii. Rear Elevation on or adjacent or ear boundary Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0 m from Side Boundary unless Screened, or the Opening consists of Celestal Window or opaque glass windows; v. Secondary Elevation N/A v. Side Elevation (North) Open Outlook v. Side Elevation (North) Openings permitted. v. Side Elevation (North) Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened. vi. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless Screened; or is is fitted with Opaque Glass. 12. Specific Design Requirement No	C.		
a. Type required Attached Fence 11. Privacy Attached Fence 11. Privacy Restrictions on 1st floor and above Nil i. Principal Elevation Nil ii. Rear Elevation on or adjacent Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs or Terraces) to be setback 2.07 from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. iv. Secondary Elevation N/A Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. vi. Side Elevation (North) Open Outlook Openings permitted. vi. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless Screened. vi. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless Screened. vi. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless Screened. vi. Side Elevation (South) Restricted Outlook Opening	d.	Required Garage Disposition	Rear Direct
11. Privacy Restrictions on 1st floor and above i. Privacy Restrictions on or adjacent Nil ii. Rear Elevation on or adjacent Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs or Terraces) to be setback 200 from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, Terraces and Balconies to be setback Balconies to be setback 200 or opaque glass windows; v. Side Elevation (North) Openings permitted. v. Side Elevation (North) Open Outlook v. Side Elevation (North) Openings permitted. v. Side Elevation (South) Restricted Outlook vi. Side Elevation (South) Restricted Outlook 0. Openings permitted. is fitted with Opaque Gl	10.	Attached Fence and Sideyard Wa	alling
a. Privacy Restrictions on 1st floor and above i. Principal Elevation Nil ii. Rear Elevation on or adjacent Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs or Terraces) to be setback 20/ from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, Terraces and Balconies to be setback Balconies to be setback 20/ or opaque glass windows; v. Side Elevation N/A v. Side Elevation (North) Openings permitted. v. Side Elevation (North) Open Outlook v. Side Elevation (North) Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened. vi. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Sida Boundary unless Storage for 3 bins provided within the Lot and screened for public view	a.	Type required	Attached Fence
i. Principal Elevation Nil ii. Rear Elevation on or adjacent to rear boundary Nil iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0r from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened, iv. Secondary Elevation N/A v. Side Elevation (North) Open Outlook v. Side Elevation (North) Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. vi. Side Elevation (North) Open Outlook vi. Side Elevation (South) Restricted Outlook vi. Side Elevation (South)	11.	Privacy	
 to rear boundary iii. Rear elevation internal to a Lot Openings (other than Balconies, Verandahs, Grances, Verandahs, Grances, Vo be setback 2.07 from Side Boundary unless Screened, or the Opening consists of Celestial Window, or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Secondary Elevation N/A Side Elevation (North) Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Side Boundary unless the Side Boundary unless Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless Screened, or is Creened, or is Screened, or is Screened, or is Screened or Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Storage for 3 bins provided within the Lot and screened fro public view Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees Refer - Private Realm Operative Provisions External Fixtures Refer - Private Realm Operative Provisions External Fixtures Refer - Private Realm Operative Provisions No modification of building elements provided by Jindee Operative Provisions 	a.	i. Principal Elevation	Nil
a Lot Balconies, Verandahs or Terrace) to be setback 2.0r from Side Boundary unless Screened, or the Opening consists of Celestial Window, or opaque glass windows; . Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. .v. Secondary Elevation N/A v. Side Elevation (North) Open Outlook . Openings permitted. . Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. .v. Side Elevation (North) Open Outlook .vi. Side Elevation (South) Restricted Out			Nil
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Operative Provisions 15. External Fixtures Refer - Private Realm Operative Provisions 16. Design Outcomes - Additional Requirements + Controls 17. Exemptions to Planning Approval 18. No modification of building elements provided by Jindee	b.	Location (required by the City of	•
Operative Provisions 16. Design Outcomes – Additional Requirements + Controls Refer - Private Realm Operative Provisions 17. Exemptions to Planning Approval Refer - Private Realm Operative Provisions 18. No modification of building elements provided by Jindee Refer - Private Realm Operative Provisions	14.	Landscaping + Street Trees	
Requirements + Controls Operative Provisions 17. Exemptions to Planning Approval Refer - Private Realm Operative Provisions 18. No modification of building elements provided by Jindee Refer - Private Realm Operative Provisions	15.	External Fixtures	
Approval Operative Provisions 18. No modification of building elements provided by Jindee Refer - Private Realm Operative Provisions	16.		
elements provided by Jindee Operative Provisions	17.		
	18.		



LOT T4 TRANSECT LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

230 Interior

Legend Building Type 20.50 ₫ 20.00 Cottage Type С н House Type Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 3m2 20,60 Build-to-line (BTL) (refer to Operative Provision No. 6) 22.12 Datum and Pad Level (refer Operative Provision No. 5) + 22.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) CH R Entry Steps Indicative Retaining Wall Locations C/H Indicative Retaining Wall Type 2 Q^ No Vehicular Access Δ Indicative Services Area Principal Boundary 1 1688) 2 Side Boundary (North) Side Boundary (South) 3 4 Rear Boundary Proposed Light Pole Location 5m 10m 5m 20m 25m Scale 1:500

Lot 230 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 230. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT			
4	Plinths				
a.	Is a Plinth required for this Lot?	Yes			
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan			
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No			
d.	Required building element to attach to the Plinth	Verandah attached to internal stair wall as shown on Plan			
5	Building Heights				
a.	Maximum No of Storeys	2 storeys plus loft			
b.	Maximum Height	7.5 metres			
C.	Lot Datum (from which Building Height is measured)	22.12 AHD			

ITEM	DESCRIPTION	REQUIREMENT			
6	Setbacks and Build-to-Lines				
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, measured from the Side Setback Line (North or South) within the Lot.			
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.			
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.			
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.			
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.			
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.			
g. h.	BTL Percentage Required Parapet Wall Location	95% minimum. N/A			
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			
а.	Encroachments in Principal Setbacl	k			
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.			
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.			
b.	Encroachments into Secondary Set	back			
	i. Permitted Encroachments into Secondary Setback.	N/A			
С.	Encroachments into Side Setback				
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.			
d.	Encroachments into Rear Setback.				
	i. Permitted Encroachments into Rear Setback	N/A			
8.	Frontage/ Principal Elevation Re	quirements			
a.	Required Private Frontage Type	Verandah			
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.			

ITEM	DESCRIPTION	REQUIREMENT			
9.	Garaging, Parking and Vehicle Access				
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays			
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil			
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).			
 d.	Required Garage Disposition	Rear Direct			
10.	Attached Fence and Sideyard W	alling			
a.	Type required	Attached Fence			
11.	Privacy				
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil			
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Canand 			
•••••	iv Cocondary Elevation	Screened. N/A			
	iv. Secondary Elevation v. Side Elevation (North)	Open Outlook			
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 			
•••••	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a			
		minimum of 4.5m from the Side Boundary unless the Opening:			
		• is a Celestial Window; or			
		 is Screened; or is fitted with Opaque Glass. 			
12.	Specific Design Requirement	• Is fitted with Opaque Glass.			
	Specific Design Requirement	Ne			
a.	Is there a Specific Design Requirement applicable to this Lot?	No			
13.	Refuse storage enclosures and c	ollection			
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view			
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes			
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions			
15.	External Fixtures	Refer - Private Realm Operative Provisions			
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions			
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions			
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions			



LOT 231 T4 TRANSECT LOT TYPE AREA (APPROX M²) 543 LOT FRONTAGE 14m

Edge Lot



Lot 231 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 231. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

A DESCRIPTION REQUIREMENT	
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Types	Cottage, House
Lot Type Designation	Edge Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	22.31 AHD	

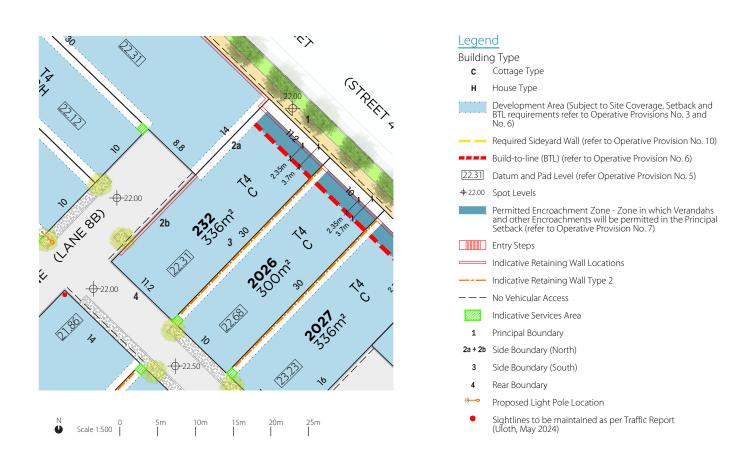
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 10.65 metres measured from the Secondary Setback Line within the Lot. 2a) Is parallel to and located 2.35 metres from the Secondary Boundary,
с.	Side Setback Line (South)	for a length of 7.3 metres measured from the Principal Setback Line. 2b) Is located on the Secondary Boundary within the Lot for a distance of 26.95 metres measured from the Side Setback Line (East). Is parallel to and located 1.0 metre from the Side Boundary (South)
		within the Lot. A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Secondary Setback Line as shown on the Plan.
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary (2a) for a distance of 7.3 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 95% minimum and BTL 2) 100% N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line.
с.	Encroachments into Side Setback	2b) N/A
•••••	i. Permitted Encroachments into Side Setback (East and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A

ITEM	DESCRIPTION	REQUIREMENT			
8.	Frontage/ Principal Elevation Requirements				
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.			
9.	Garaging, Parking and Vehicle Access	5			
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays			
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil			
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South and East).			
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.			
10.	Attached Fence and Sideyard Walling]			
a.	Type required	Attached Fence			
11.	Privacy				
a.	Privacy Restrictions on 1st floor and abc i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Nil • Openings (other than Balconies,			
	iii, Rear elevation internal to a Lot	 Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side 			
•••••	iv. Secondary Elevation	Boundary, unless Screened. Nil			
	v. Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:			
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 			
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:			
		 is a Celestial Window; or is Screened; or 			
		 is fitted with Opaque Glass. 			
12.	Specific Design Requirement				
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR			
13.	Refuse storage enclosures and collec	SDR) Corner Treatment tion			
a.	Required Bin Storage	Storage for 3 bins provided within the			
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view Yes			
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions			
15.	External Fixtures	Refer - Private Realm Operative Provisions			
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions			
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions			
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions			



LOT 232 T4 TRANSECT LOT TYPE AREA (APPROX M²) 336 LOT FRONTAGE 11.2m

Interior



Lot 232 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 232. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

M DESCRIPTION REQUIREMENT		
Site Works		
Maximum Lot Level	Refer - Private Realm Operative Provisions	
Stormwater Management	Refer - Private Realm Operative Provisions	
Retaining Walls	Refer - Private Realm Operative Provisions	
Number of Dwellings on Lot		
Maximum Number of Single Residential Dwellings	One (1)	
Maximum Number of Dwellings Permitted for an Apartment House	N/A	
Ancillary Unit	Permitted	
Dwelling Controls		
Maximum Lot Coverage	75%	
Permitted Building Type	Cottage	
Lot Type Designation	Interior Lot	
Permitted Building Dispositions	Edgeyard, Courtyard	
Required Terrace Grouping	N/A	
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Type Lot Type Designation Permitted Building Dispositions	

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by Yes - Retaining Wall as s the Jindee Developer and, if so, on Plan what type?		
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	22.31 AHD	

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	2a) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		2b) Is located on the Side Boundary (North) within the Lot.
d.	Side Setback (South)	Is located on the the Side Boundary (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 10.2 metres, measured from the Side Boundary (South) as shown on the Plan.
 а.	BTL Percentage	100%
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Se	tback
	i. Permitted Encroachments into Secondary Setback.	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
d.	i. Permitted Encroachments into Side Setback (North 2a) Encroachments into Rear Setback.	Eaves, Shade Devices and Attached Fences.
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с. 	Lot boundaries where Vehicle Access is prohibited Required Garage Disposition	Principal Boundary, Side Boundary (North and South). Rear Direct

ITEM	DESCRIPTION	REQUIREMENT		
10.	Attached Fencing and Sideyard	Walling		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor an i. Principal Elevation	d above Nil		
	ii. Rear Elevation on or adjacent to rear boundary	Nil		
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 		
	iv. Secondary Elevation v. Side Elevation (North)	N/A 2a) Open Outlook		
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 		
•••••	vi. Side Elevation (South)	2b) Nil Restricted Outlook		
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:		
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 		
12.	Specific Design Requirement			
a.	ls there a Specific Design Requirement applicable to this Lot?	No		
13.	Refuse storage enclosures and c	ollection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		

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LOT 594 TRANSECT T4 LOT TYPE AREA (APPROX M²) 543 LOT FRONTAGE 14m

Edge Lot

Legend C/H Building Type 3505 COM-Cottage Type С н House Type Specific Design Requirements (refer to Operative Provision No.12) CH RIG (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 1.5 Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7) € -20.00 SNI r Build-to-line (BTL) (refer to Operative Provision No. 6) [21.93] Datum and Pad Level (refer Operative Provision No. 5) . *Lyp-20.00 + 20.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) (BOULEVARD 3B) Entry Steps Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 20.50 No Vehicular Access Indicative Services Area 1 Principal Boundary 20.50 Secondary Boundary 2 Side Boundary (North) 3 Side Boundary (East) 4 5m 10m 5m 20m 25m Scale 1:500 Rear Boundary 5 Proposed Light Pole Location

Lot 594 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 594. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Types	Cottage, House
Lot Type Designation	Edge Lot
Permitted Building Dispositions	•••••••
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.93 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located 4.0 metres from the Principal Boundary, for a length of 33.9 metres measured from the Principal Setback Line.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary (North), for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Setback Line (North) as shown on the Plan.
g.	BTL Percentage	95% minimum
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Gable End, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Plinths or Piers for Verandah, Steps, Towers, a Terminating Vista Element.
• • • • • • •	ii. Extent to which Permitted	4.0 metres measured from the
	Encroachments may encroach into the Secondary Setback	Secondary Setback Line. The building may encroach into the Secondary
		Setback by 2.0 metres measured 7.5 metres from the Principal Setback Line
		and 7.5 metres from the Side Setback Line (East), provided that a Verandah or Pergola is attached to the Building
		and extends to and attaches to the Retaining Wall.
С.	Encroachments into Side Setback i. Permitted Encroachments into Side	Eaves, Shade Devices and Attached
 d.	Setback (North and East) Encroachments into Rear Setback.	Fences.
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirer	nents
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front.
	Garaging, Parking and Vehicle Access	
9.		Cottage/ House - 2 bays
9. a.	Garaging required for this minimum number of cars	
	number of cars Additional garaging requirement for	Nil
a.	number of cars	

ITEM	DESCRIPTION REQUIREMENT	
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
•••••	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from
•••••		a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (East)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement	Yes - Three required (mandated) SDR's
	applicable to this Lot?	SDR 1) A Gable End is mandated, being setback a maximum of 0.5 metres from the Secondary Boundary, and between 6.5 and 7.5 metres wide to the side of the Principal Elevation.
		SDR 2) A Gable End is mandated to the side of the Principal Elevation to the same width of SDR 1.
		SDR 3) A Projecting Front with a Gable End is mandated, being setback a maximum of 0.5 metres from the Secondary Boundary. SDR 3 is required to mirror all elements of SDR 1 including that the Gable End is the same width as Gable End in SDR 1.
13.	Refuse storage enclosures and collection	n
a.	Required Bin Storage	Storage for 3 bins provided within the Lot
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	and screened from public view Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

JINDEE	Local Development Plan Individual Lot Plan (LDP No. 12.0)	LOT 595 TRANSECT 74 LOT TYPE Interior AREA (APPROX M ²) 360 LOT FRONTAGE 12m
	Image: set of the set of	Legend Building Type c Cottage Type H House Type Image: Specific Design Requirements (refer to Operative Provision No.12) Image: Specific Design Requirements (refer to Operative Provision No.2) Image: Specific Design Requirements refer to Operative Provision No.3 and BL requirements refer to Operative Provision No.6) Image: Specific Design Requirements refer to Operative Provision No.5 and Rundown (Rundown Ret (refer Operative Provision No.5) Image: Specific Design Requirements refer to Operative Provision No.5 Image: Specific Design Requirements refer to Operative Provision No.5 Image: Specific Design Requirements refer to Operative Provision No.5 Image: Specific Design Requirements refer to Operative Provision No.5 Image: Specific Design Requirements will be permitted in the Principal Setback (refer to Operative Provision No.7) Image: Specific Design Requirements will be permitted in the Principal Setback (refer to Operative Provision No.7) Image: Specific Design Requirements will be permitted in the Principal Setback (refer to Operative Provision No.7) Image: Specific Design Requirements will be permitted in the Principal Setback (refer to Operative Provision No.7) Image: Specific Design Requirements will be permitted in the Principal Setback (refer to Operative Provision No.7) Image: Specific Design Requirements will be permitted in the Principal Setback (refer to Operative Provis

Lot 595 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 595. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	21.76 AHD	

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	ls parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side
		Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	95% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	, ,
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Se i. Permitted Encroachments into Secondary Setback.	tback N/A
с.	Encroachments into Side Setback	••••••
••••	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT		
9.	Garaging, Parking and Vehicle A	Access		
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays		
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil		
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).		
d.	Required Garage Disposition	Rear Direct		
10.	Attached Fence and Sideyard Wa	alling		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor and	• • • • • • • • • • • • • • • • • • • •		
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil		
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 		
	iv. Secondary Elevation	N/A		
	v. Side Elevation (North)	Open Outlook		
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 		
	vi. Side Elevation (South)	Restricted Outlook		
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:		
		is a Celestial Window; oris Screened; or		
		• is fitted with Opaque Glass.		
12.	Specific Design Requirement			
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No		
13.	Refuse storage enclosures and c	ollection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		

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LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 12.0)

LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

596 Interior

*20m2 2.351 Legend Building Type CAD Cottage Type С House Type н 591 60m2 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and CIA CIA Eloo No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 21.57 Datum and Pad Level (refer Operative Provision No. 5) Soc ZOM? +21.50 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) CIT RES ~ Entry Steps 595 60m2 (LANE 88) Indicative Retaining Wall Locations CIAN PILO Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area SWRLANE Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3 ~

Rear Boundary

Proposed Light Pole Location

Lot 596 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 596. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

0 Scale 1:500

5m |

10m

15m

20m

25m

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls Refer - Private Realm Opera Provisions	
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Type	Cottage, House
Lot Type Designation	Interior Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Type Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.57 AHD

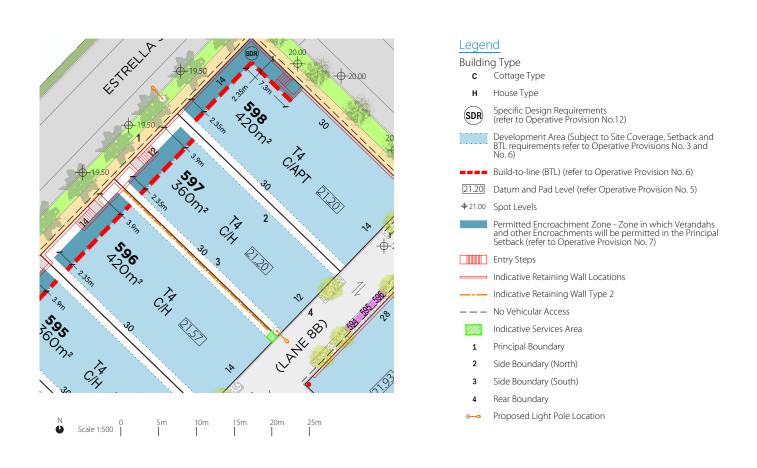
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 12.0 metres, measured 1.0 metre from the Side Boundary (North or South) as
g. h.	BTL Percentage Required Parapet Wall Location	shown on the Plan. 90% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Se i. Permitted Encroachments into Secondary Setback.	tback N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

9. Garaging, Parking and Vehicle Access a. Garaging required for this minimum number of cars Cottage/ House - 2 bar for Access b. Additional garaging requirement for Ancillary Unit, if provided Nil c. Lot boundaries where Vehicle Access is prohibited Principal Boundary, Sid Boundary (North and 1) d. Required Garage Disposition Rear Direct 10. Attached Fence and Sideyard Walling a. Type required Attached Fence 11. Privacy a. a. Privacy Restrictions on 1st floor and above Nil ii. Rear Elevation on or adjacent Nil Nil iii. Rear elevation internal to a Lot • Openings (other t Balconies, Veranda	de South).
minimum number of cars b. Additional garaging requirement for Ancillary Unit, if provided Nil for Ancillary Unit, if provided c. Lot boundaries where Vehicle Access is prohibited Principal Boundary, Sic Boundary (North and Sic Boun	de South).
for Ancillary Unit, if provided c. Lot boundaries where Vehicle Access is prohibited Principal Boundary, Sic Boundary (North and I Boundary Sic Boundary (North and I Boundary (North and I Boundary Sic Boundary (North and I Boundary Sic Boundary (North and I Boundary (North and I Boundary Sic Boundary (North and I Boundary Sic Boundary (North and I Boundary Sic Boundary (North and I Boundary (North and I Boundary Sic Boundary (North and I Boundary Sic Boundary (North and I Boundary Sic Boundary (North and I Boundary Sic Boundary Sic Boundary (North and I Attached Fence 11.	South).
Access is prohibited Boundary (North and Edited Strength Streng	South).
10. Attached Fence and Sideyard Walling a. Type required Attached Fence 11. Privacy a. Privacy Restrictions on 1st floor and above i. Principal Elevation Nil ii. Rear Elevation on or adjacent Nil to rear boundary iii. Rear elevation internal to a Lot •	ahs or tback 2.0m
a. Type required Attached Fence 11. Privacy a. Privacy Restrictions on 1st floor and above i. Principal Elevation Nil ii. ii. Rear Elevation on or adjacent Nil to rear boundary iii. Rear elevation internal to a. Lot Openings (other t	ahs or tback 2.0m
Intervention Privacy a. Privacy Restrictions on 1st floor and above i. Principal Elevation ii. Rear Elevation on or adjacent viii. Rear Elevation internal to iii. Rear elevation internal to a. Openings (other t b. Balconies, Veranda	ahs or tback 2.0m
a. Privacy Restrictions on 1st floor and above i. Principal Elevation Nil ii. Rear Elevation on or adjacent Nil to rear boundary iii. Rear elevation internal to a Lot • Openings (other t Balconies, Veranda	ahs or tback 2.0m
i. Principal Elevation Nil ii. Rear Elevation on or adjacent Nil to rear boundary iii. Rear elevation internal to Openings (other t a Lot Balconies, Veranda	ahs or tback 2.0m
iii. Rear elevation internal to Openings (other t a Lot Balconies, Veranda	ahs or tback 2.0m
Terraces) to be set from Side Bounda Screened, or the C consists of Celesti or opaque glass w • Verandahs, Terrace Balconies to be se a minimum of 4.51 a Side Boundary, u Screened.	Dpening al Windows vindows; es and etback m from
iv. Secondary Elevation N/A	• • • • • • • • • • • • • • • •
v. Side Elevation (North) Open Outlook	
Openings permitt Verandahs, Terrace Balconies to be se a minimum of 4.5 the Side Boundary Screened. vi. Side Elevation (South) Restricted Outlook	es and etback m from
Openings to be setbad minimum of 4.5m fror Boundary unless the C	m the Side
is a Celestial Windis Screened; oris fitted with Opac	
12. Specific Design Requirement	
a. Is there a Specific Design No Requirement applicable to this Lot?	
13. Refuse storage enclosures and collection	
a. Required Bin Storage Storage for 3 bins prov within the Lot and scru public view	
b. Required Bin Collection Point Yes Location (required by the City of Wanneroo)	
14. Landscaping + Street Trees Refer - Private Realn Operative Provisions	
15. External Fixtures Refer - Private Realm Operative Provisions	
16. Design Outcomes – Additional Requirements + Controls Refer - Private Realn Operative Provisions	
17.Exemptions to Planning ApprovalRefer - Private Real Operative Provisions	
18. No modification of building elements provided by Jindee Developer without Consent	



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

597 Interior



Lot 597 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 597. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.20 AHD

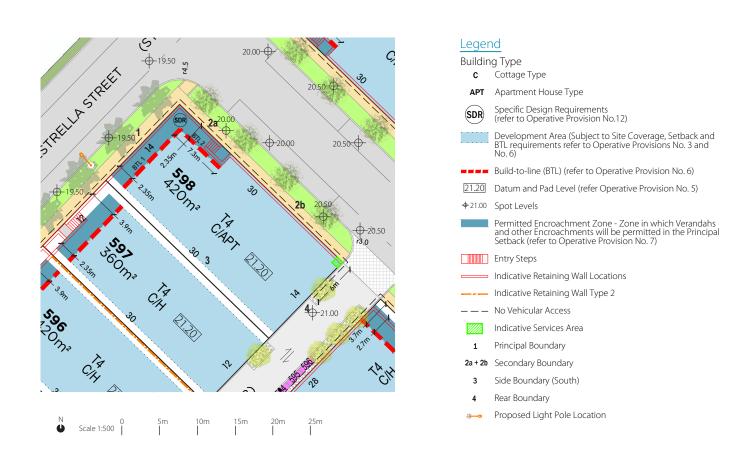
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (North or South) as
g. h.	BTL Percentage Required Parapet Wall Location	shown on the Plan. 95% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Se i. Permitted Encroachments into Secondary Setback.	tback N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevationii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook • Openings permitted.
•••••	vi. Side Elevation (South)	 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
		 is a celestral window, of is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 598 TRANSECT T4 LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

Edge Lot



Lot 598 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 598. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage. Apartment House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

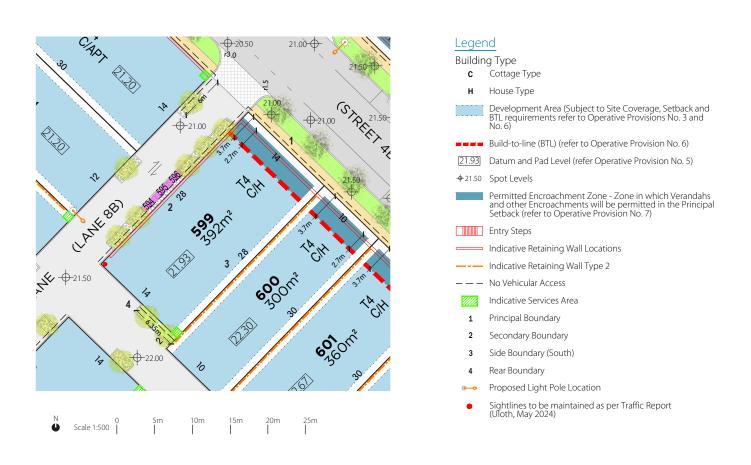
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.20 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a distance of 7.3 metres measured from the Principal Setback Line.
		2b) is located on the Secondary Boundary for a distance of 20.35 metres measured from the Rear Boundary.
С.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	within the Lot. Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Side Setback Line (South) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 7.3 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba	
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows,
	Secondary Setback.	Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing.
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2a) 2.35 metres measured from the Secondary Setback Line.
с. С	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2a) 2.35 metres measured from the Secondary Setback Line. 2b) NA
с.	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback (Sout i. Permitted Encroachments into	Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2a) 2.35 metres measured from the Secondary Setback Line. 2b) NA 1) Eaves, Shade Devices and Attached
c. d.	 ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback (Sout) i. Permitted Encroachments into Side Setback Encroachments into Rear Setback. i. Permitted Encroachments into 	Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2a) 2.35 metres measured from the Secondary Setback Line. 2b) NA
c. d.	 Extent to which Permitted Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback (South Permitted Encroachments into Side Setback Encroachments into Rear Setback. 	Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2a) 2.35 metres measured from the Secondary Setback Line. 2b) NA n) Eaves, Shade Devices and Attached Fences.

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requir	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling
b.	Additional garaging requirement for	2 bays/ 2+ bedroom dwelling Nil
С.	Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Wall	ing
a. 11.	Type required Privacy	Attached Fence
	Privacy Privacy Restrictions on 1st floor and abo	21/0
a.	•••••••	•••••••••••••••••••••••••••••••••••••••
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR
		SDR) Corner Treatment or Double Verandah.
13.	Refuse storage enclosures and collect	ction
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Edge Lot



Lot 599 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 599. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

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ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.93 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
С.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 13 metres measured from the Secondary Boundary.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	back
	 Permitted Encroachments into Secondary Setback. 	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary	N/A
С.	Setback Encroachmentss into Side Setback	
•••••	i. Permitted Encroachments	Eaves, Shade Devices and
	into Side Setback (South)	Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Red	quirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, and a Double Projecting Front.

	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	Attached renee
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
• • • • • • •		•••••••••••••••••••••••••••••••••••••••
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, Terraces and
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side
		Boundary unless the Opening:
		• is a Celestial Window; or
		 is a Celestial Window; or is Screened; or
12	Specific Design Deswinement	• is a Celestial Window; or
12.	Specific Design Requirement	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot?	 is a Celestial Window; or is Screened; or
-	ls there a Specific Design Requirement applicable to this	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
а.	ls there a Specific Design Requirement applicable to this Lot?	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a. 13.	Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No collection Storage for 3 bins provided within the Lot and screened fror
a. 13. a.	Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c Required Bin Storage Required Bin Collection Point Location (required by the City of	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No collection Storage for 3 bins provided within the Lot and screened fror public view
a. 13. a. b.	Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm
a. 13. a. b.	Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No Storage for 3 bins provided within the Lot and screened fror public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. 13. a. b. 14. 15.	Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. No collection Storage for 3 bins provided within the Lot and screened fror public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm



LOT T4 TRANSECT LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

600 Interior



Lot 600 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 600. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and 3.7 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
 	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
	Side Setback (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0
		metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	i. Permitted Encroachments	:back N/A
	into Secondary Setback. Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
с. • • • • • • •	i. Permitted Encroachments	Eaves, Shade Devices and
	into Side Setback (North and South)	Attached Fences.
d.	i. Permitted Encroachments	N/A
8.	into Rear Setback Frontage/ Principal Elevation Re	quirements
о. а.	Required Private Frontage Type	Verandah
	nequireu i rivate i roritage rype	

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement	Nil
 С.	for Ancillary Unit, if provided	Principal Boundary, Side
 . I	Access is prohibited	Boundary (North and South).
d. 10.	Required Garage Disposition Attached Fencing and Sideyard	Rear Direct Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner	No
	Treatment, Projecting Front, Laneway Surveillance)	
13.	Refuse storage enclosures and o	collection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	public view N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions



LOT 601 T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

Legend

 Building Type N 1.50 22.00 С Cottage Type House Type н Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 22.00 22.67 Datum and Pad Level (refer Operative Provision No. 5) +22.50 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 2.00 Entry Steps 6 Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access 1 1 Indicative Services Area CANK 88) Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3 4 Rear Boundary ÷23.00 Proposed Light Pole Location 5m 10m 5m 20m 25m Scale 1:500

Lot 601 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 601. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.67 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION
6	Setbacks and Build-to-Lines		9.	Garaging, Parki
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal	a.	Garaging require minimum numbe
 b.	Secondary Setback Line	Boundary, within the Lot. N/A	b.	Additional garagi for Ancillary Unit,
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary	С.	Lot boundaries w Access is prohibit
		(North) within the Lot.	d.	Required Garage
		A portion of one (1) of the Side Setback Lines (North or South)	10.	Attached Fencir
		may be located on the relevant Side Boundary, for a distance of	a.	Type required
		up to 12 metres measured from	11.	Privacy
 d.	Side Setback (South)	the Rear Boundary. Is parallel to and located 1.0	a.	Privacy Restrictio i. Principal Elev
		metre from the Side Boundary (South) within the Lot.	•••••	i. Principal Elev ii. Rear Elevatio
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.	•••••	to rear bound iii. Rear elevatio a Lot
е.	Rear Setback Line	Is located on the Rear Boundary		
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (North and South) as		
		shown on the Plan.		iv. Secondary El
g.	BTL Percentage	90% minimum.		v. Side Elevatio
h.	Required Parapet Wall Location	N/A		
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		vi. Side Elevatio
a.	Encroachments in Principal Setba			
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista		
		Element.	12.	Specific Design
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Se	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.	a.	Is there a Specific Requirement app Lot? (Terminated Vista Treatment, Projec Laneway Surveill
•••••	i. Permitted Encroachments	N/A	13.	Refuse storage
	into Secondary Setback.	••••	a.	Required Bin Stor
С.	Encroachments into Side Setback			
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.	b.	Required Bin Coll Location (require
d.	Encroachments into Rear Setback i. Permitted Encroachments	N/A	14.	Wanneroo) Landscaping + S
0	into Rear Setback		15.	External Fixture
8. a.	Frontage/ Principal Elevation Re Required Private Frontage Type	Verandah		
а. b.	Permitted Principal Building	Straight Front, Projecting Front,	16.	Design Outcom Requirements +
	Elevation Types	a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a	17.	Exemptions to F Approval
		Double Projecting Front.	18.	No modification elements provid

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this	Cottage/ House - 2 bays
	minimum number of cars	N 11
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle	Principal Boundary, Side
	Access is prohibited	Boundary (North and South).
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent	Nil
	to rear boundary	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
	v. Side Elevation (North)	Openings permitted.
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side
		Boundary unless the Opening:
		 is a Celestial Window; or
		 is Screened; or is fitted with Opague Glass.
12.	Specific Design Requirement	is fitted with optique dids.
a.	Is there a Specific Design	No
u.	Requirement applicable to this Lot?	
	(Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
13.	Refuse storage enclosures and e	collection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building	Refer - Private Realm

REQUIREMENT



602 LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior



Lot 602 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 602. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Type	Cottage, House
Lot Type Designation	Interior Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Type Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.04 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (North and South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set i. Permitted Encroachments into Secondary Setback.	back N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Red	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle A	ccess	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).	
d.	Required Garage Disposition	Rear Direct	
10.	Attached Fencing and Sideyard	Walling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
	iv. Secondary Elevation	N/A	
	v. Side Elevation (North)	Open Outlook	
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 	
••••	vi. Side Elevation (South)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 	
12.	Specific Design Requirement		
а.	ls there a Specific Design Requirement applicable to this Lot?	N/A	
13.	Refuse storage enclosures and c	ollection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



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LOCAL DEVELOPMENT PLAN **INDIVIDUAL LOT PLAN** (LDP No. 12.0)

603 LOT T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

Legend 23.00-0 **Building Type** С Cottage Type 23.00 House Type н No. 6) -23.00 +23.00 Spot Levels Entry Steps 3 0

PASSAGENOC

25m

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and Build-to-line (BTL) (refer to Operative Provision No. 6) 23.04 Datum and Pad Level (refer Operative Provision No. 5) Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3 Rear Boundary

Proposed Light Pole Location

Lot 603 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 603. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

03

Specific Requirements

Scale 1:500

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A
	•••••••••••••••••	• • • • • • • • • • • • • • • • • • • •

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.41 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (North and South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set i. Permitted Encroachments into Secondary Setback.	back N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Red	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

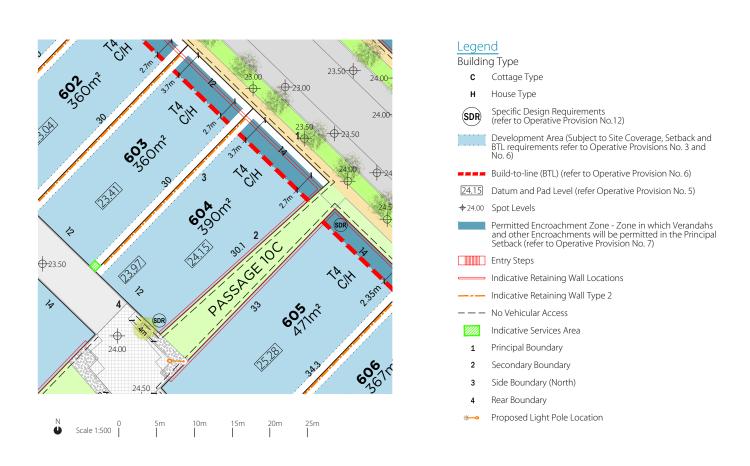
ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle A	ccess	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).	
d.	Required Garage Disposition	Rear Direct	
10.	Attached Fencing and Sideyard	Walling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
	iv. Secondary Elevation	N/A	
	v. Side Elevation (North)	Open Outlook	
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 	
••••	vi. Side Elevation (South)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 	
12.	Specific Design Requirement		
а.	ls there a Specific Design Requirement applicable to this Lot?	N/A	
13.	Refuse storage enclosures and c	ollection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



JINDEE

LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 390 LOT FRONTAGE 14m

604 Edge Lot



Lot 604 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 604. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

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ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.97/ 24.15 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 13.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
q.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	k Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	:back
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
C.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments	N/A
Q	into Rear Setback	quirements
8.	Frontage/ Principal Elevation Rev	
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North), and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct, Rear Back Court.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor ani. Principal Elevationii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	 Open Outlook Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR
		SDR) Laneway Surveillance
13.	Refuse storage enclosures and o	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Edge Lot

6,6 Legend 24.00 Building Type 25.0 $\langle \rangle$ Cottage Type С н House Type 24.50 Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and PASSAGE 23.91 No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 2.355 4 25.28 Datum and Pad Level (refer Operative Provision No. 5) +25.00 Spot Levels φ Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 24.00 606 Entry Steps Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access Δ Indicative Services Area ~ Principal Boundary 1 2 Secondary Boundary Side Boundary (South) 3 - 25 50 4 Rear Boundary Proposed Light Pole Location 5m 10m 5m 20m 25m Scale 1:500

Lot 605 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 605. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.28 AHD

ITEM	DESCRIPTION	REQUIREMENT
5	Setbacks and Build-to-Lines	
	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
).	Secondary Setback Line	Is parallel to and location on the Secondary Boundary within the Lot.
	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
 1.	Side Setback	N/A
•••••	Rear Setback Line	Is located on the Rear Boundary
••••••	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 13.0 metres, measured 1.0 metre from the Side Boundary (South) as shown on the Plan.
 1.	BTL Percentage	90% minimum.
•••••	Required Parapet Wall Location	N/A
	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
	Encroachments in Principal Setback	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal	2.35 metres measured from the Principal Setback Line.
	Setback	
	Encroachments into Secondary Set	
	i. Permitted Encroachments into Secondary Setback.	N/A
• • • • • •	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
l.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	Frontage/ Principal Elevation Re	quirements
	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Projecting Front, a Projecting Front and a Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South), and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct, Rear Back Court.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
•••••		• is fitted with Opaque Glass.
	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR
		SDR) Projecting Front with a Gable End (location of Specific Design Requirement is depicted on the attached plan as a SDR).
13.	Refuse storage enclosures and o	collection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions

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LOT 606 TRANSECT T4 LOT TYPE AREA (APPROX M²) LOT FRONTAGE 10m

Interior 367

Legend **Building Type** Q, С Cottage Type House Type н Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 26.02 Datum and Pad Level (refer Operative Provision No. 5) +26.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps -25.00 Indicative Retaining Wall Locations ⊕-27.00 Indicative Retaining Wall Type 2 LANE 8A) る No Vehicular Access ⊕-25.50 Indicative Services Area Principal Boundary 1 ん ⊕-26.00 2 Side Boundary (North) 3 Side Boundary (South) SWIRL LANF 4 Rear Boundary Proposed Light Pole Location 5m 10m 15m 20m 25m Scale 1:500

Lot 606 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 606. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.84/26.02 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
р. с.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
	Side Setback (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g. h. 7.	BTL Percentage Required Parapet Wall Location Permitted Encroachments	90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac i. Permitted Encroachments into Principal Setback	k Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Se i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
	Frontage/ Principal Elevation Re	quirements
8.	<u> </u>	

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle Access		
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement Nil for Ancillary Unit, if provided		
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).	
d.	Required Garage Disposition	Rear Direct	
10.	Attached Fencing and Sideyard	Walling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	l above Nil	
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
•••••	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook	
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 	
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side	
		 Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 	
12.	Specific Design Requirement		
a.	Is there a Specific Design Requirement applicable to this Lot?	No	
13.	Refuse storage enclosures and c	ollection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



LOT 607 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Edge Lot

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Leger	ad				
	Building Type				
C	Cottage Type				
н	House Type				
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)				
	Build-to-line (BTL) (refer to Operative Provision No. 6)				
27.13	Datum and Pad Level (refer Operative Provision No. 5)				
- ∲ 27.00	Spot Levels				
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)				
	Entry Steps				
	Indicative Retaining Wall Locations				
	Indicative Retaining Wall Type 2				
	No Vehicular Access				
	Indicative Services Area				
1	Principal Boundary				
2	Secondary Boundary				
3	Side Boundary (North)				
4	Rear Boundary				

Lot 607 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 607. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A
••••		• • • • • • • • • • • • • • • • • • • •

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.13 AHD

Proposed Light Pole Location

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
а.	Principal Setback Line	ls parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 11.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	80% minimum.
יייי ו.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Se	 tback
	i. Permitted Encroachments into Secondary Setback.	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

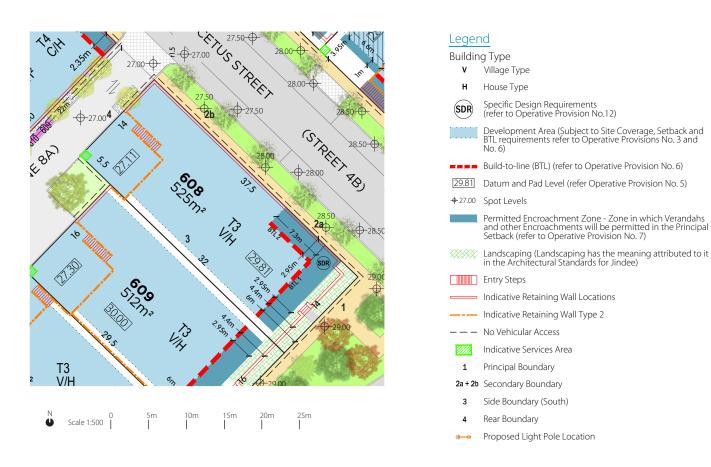
ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North), and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	d above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from
		a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook
		 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
	(Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Edge Lot 525

AREA (APPROX M²) LOT FRONTAGE

14m



Lot 608 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 608. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to Secondary Boundary Plinth
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.11/29.81 AHD

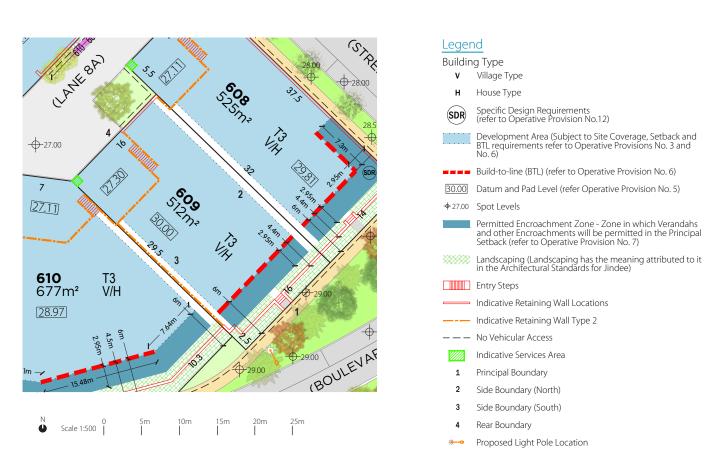
ITEM 6 a. b.	DESCRIPTION Setbacks and Build-to-Lines Principal Setback Line	REQUIREMENT Is parallel to and located 6.0 metres from the Principal Boundary, for a
	Principal Setback Line	
		length of 10.05 metres measured from the Side Setback Line (South) within the Lot.
D.	Secondary Setback Line	2a) Is parallel to and located 2.95 metres from the Secondary Boundary within the Lot for a length of 7.3 metres measured from the Principal Setback Line; and
		2b) Is located on the Secondary Boundary within the Lot for a distance of 24.2 metres measured from the Rear Boundary.
c. d.	Side Setback Line (North) Side Setback Line (South)	N/A Is parallel to and located 1.0 metre from the Side Setback Line (South) within the Lot.
		A portion of Side Setback Line (South) may be located on the Side Boundary for a length of 8.07 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. BTL 1) Is parallel to and located 6.0 metres from the Principal Boundary within the Lot for a length of 10.05 metres, measured from the Secondary Setback Line as shown on the Plan.
		BTL 2) Is parallel to and located 2.95 metres from the Secondary Boundary 2a for a distance of 7.3 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setbac	
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.95 metres measured from the Secondary Setback Line. 2b) N/A
с.	Encroachments into Side Setback	<i></i> , , , , , , ,
	 Permitted Encroachments into Side Setback (South) 	Eaves, Shade Devices and Attached Fences.
••••	i. Permitted Encroachments into Rear Setback	N/A
•••••	 Extent to which Permitted Encroachments may encroach into a Rear Setback 	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	S
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South), and a portion of the Rear Boundary as depicted on the Plan.
 d.	Permitted Garage Disposition	Rear Direct.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot iv. Secondary Elevation v. Side Elevation (South)	Nil Nil Nil Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment
13.	Refuse storage enclosures and collec	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



609 LOT Т3 TRANSECT LOT TYPE AREA (APPROX M²) 512 LOT FRONTAGE 16m

Interior



Lot 609 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 609. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	27.30/30.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 14 metres measured from the Side Setback Line (North or South), within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of Side Setback Line (South) may be located on the Side Boundary for a length of 8.07 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot for a length of 14 metres, measures from the Side Setback Line (North or South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	90% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line. The Verandah is required to encroach a minimum of 2.0 metres into the Permitted Encroachment Zone.
b.	Encroachments into Secondary Set	back
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments	Eaves, Shade Devices and Attached Fences.
d.	South) Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.		1 above
a. 	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions

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LOT 610 Т3 TRANSECT LOT TYPE AREA (APPROX M²) 677 LOT FRONTAGE 36.3m

Interior

VIRL LANE Legend VIA ~6 Building Type ۷ Village Type 2130 4 14 н House Type 7 26.56 Specific Design Requirements (refer to Operative Provision No.12) .9m (SDR) 27.11 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 27.86 Build-to-line (BTL) (refer to Operative Provision No. 6) 28.97 Datum and Pad Level (refer Operative Provision No. 5) T3 V/H 610 띥 신 677m² + 27.00 Spot Levels 34. Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 3 28.97 **611** 476m² Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee) 00.00 Entry Steps Indicative Retaining Wall Locations 27.3 \$2850 BOULEVAF Indicative Retaining Wall Type 2 0-28.50 4 No Vehicular Access FONTALVO Indicative Services Area ⊕ 28.00 Principal Boundary 1 2 Side Boundary (East) Side Boundary (West) 3 5m 10m 5m 20m 25m Rear Boundary 4 Scale 1:500 Proposed Light Pole Location

Lot 610 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 610. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.11/28.97 AHD

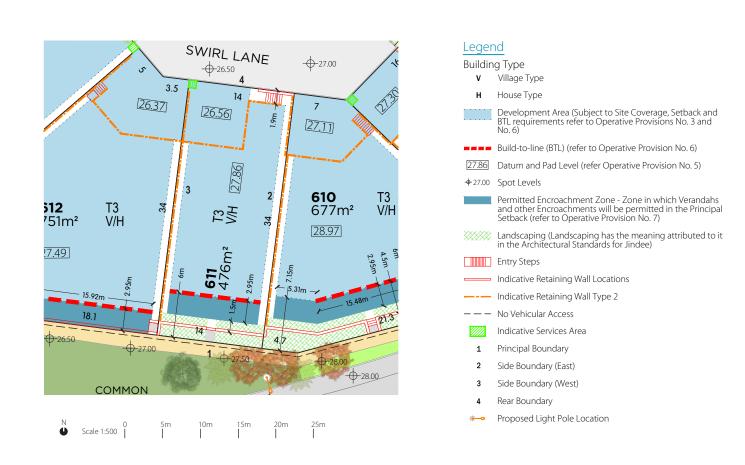
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 and 7.15 metres from the Principal Boundary, for a length of 28.43 metres measured from the Side Setback Line (East or West), within the Lot as depicted on the Plan.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of Side Setback Line (East) may be located on the Side Boundary for a length of 5.27 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	ls parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of Side Setback Line (West) may be located on the Side Boundary for a length of 8.07 metres, measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line, for a length of 15.48 metres, within the Lot as depicted on the Plan.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah. Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line. The Verandah is required to encroach a minimum of 2.0 metres into the Permitted Encroachment Zone.
b.	Encroachments into Secondary Se	tback
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
с.	Encroachments into Side Setback	••••••
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Rear	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Re	equirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fencing and Sideyard	Walling
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor an	d above
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	 Open Outlook. Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and o	collection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 611 Т3 TRANSECT LOT TYPE AREA (APPROX M²) 476 LOT FRONTAGE 14m

Interior



Lot 611 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 611. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	
		Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.56/27.86 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 12 metres measured from the Side Setback Line (East or West) within the Lot as depicted on the Plan.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of Side Setback Line (West) may be located on the Side Boundary for a length of 8.07 metres, measured from the from the Rear Boundary.
e.	Rear Setback Line	Is parallel to and located 1.9 metres from the Rear Boundary within the Lot.
		A portion of Rear Setback Line may be located on the Rear Boundary for a length of 8.17 metres, measured from the Side Boundary (West).
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line, for a length of 12 metres measured from the Side Setback Line (East or West) within the Lot as depicted on the Plan.
g.	BTL Percentage	90% minimum
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line. The Verandah is required to encroach a minimum of 2.0 metres into the Permitted Encroachment Zone.
b.	Encroachments into Secondary Set	:back
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	
	West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Reg	
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Ac	Cess
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fencing and Sideyard W	/alling
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent	above Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (East)	N/A Open Outlook. • Openings permitted. • Verandahs, Terraces and Balconies to be setback
	vi. Side Elevation (West)	a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



JINDEE

JK. -**\$**-26.00 \$ SWIRL LA S S Δ 25.42 3.5 14 13/14 26.37 26.56 6130m2 27.86 **612** 751m² T3 V/H 34 БЩ 27.49 15.92 18.1 14 0-26.50

LOT 612 TRANSECT T3 LOT TYPE AREA (APPROX M²) 751 LOT FRONTAGE 35.1m

Interior

Legend			
Building Type			
v	Village Type		
н	House Type		
SDR	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
27.49	Datum and Pad Level (refer Operative Provision No. 5)		
.∲ 26.00	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
*****	Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)		
	Entry Steps		
	Indicative Retaining Wall Locations		
	Indicative Retaining Wall Type 2		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (East)		
3	Side Boundary (West)		
4	Rear Boundary		
⊭— •	Proposed Light Pole Location		

Lot 612 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 612. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

Ö

5m I

10m

15m

20m

25m

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
	Lot Type Designation	
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.37/27.49 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.95 metres from the Principal Boundary, for a length of 30.75 metres measured from the Side Setback Line (East or West), within the Lot as depicted on the Plan.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of Side Setback Line (East) may be located on the Side Boundary for a length of 8.07 metres, measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of Side Setback Line (West) may be located on the Side Boundary for a length of 9.24 metres, measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line, for a length of 30.75 metres measured from the Side Setback Line (East or West), within the Lot as depicted on the Plan
g.	BTL Percentage	80% minimum
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach	N/A
 C.	beyond the Secondary Setback Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	••••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct.
10.	Attached Fencing and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	ibove Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation v. Side Elevation (East)	N/A Open Outlook.
		Openings permitted.
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

JINDEE	Local Development Plan Individual Lot Plan (LDP No. 12.0)	LOT 613 TRANSECT T3 LOT TYPE Interior AREA (APPROX M ²) 490 LOT FRONTAGE 14m
	Image: series of the series	Legend Building Type v Village Type House Type w Specific Design Requirements (refer to Operative Provision No.12) Specific Design Requirements (refer to Operative Provision No.12) Build-to-line (BTL) (refer to Operative Provision No.3 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Ac. 0 Build-to-line (BTL) (refer to Operative Provision No.5 and Active Frectorachment Zone - Zone in which Verandahs Active Frectorachment Zone - Zone in which Verandahs Active Frectorachment Zone - Zone in which Verandahs Active Retaining Wall Locations Indicative Retaining Wall Locations Indicative Services Area Indicative Services Area

Lot 613 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 613. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	•••••••••••••••••••••••••••••••••••••••	Interior Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION REQUIREMENT	
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.42 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.15 metres from the Principal Boundary, for a length of 12 metres measured 1.0 metre from the Side Boundary (North or South), within the Lot as depicted on the Plan.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line, for a length of 12 metres measured 1.0 metre from the Side Boundary (North or South), within the Lot as depicted on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	90% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
•••••	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Se	tback
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
с.	Encroachments into Side Setback	•••••••
•••••	i. Permitted Encroachments into Side Setback (North and South)	
 d.	Encroachments into Rear Setback.	••••••
•••••	i. Permitted Encroachments into Rear Setback	N/A
	••••••	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
а.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	d above
•••••	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	VI. Side Lievation (South)	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and c	ollection
а.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

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LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 12.0)

LOT 614 TRANSECT 73 LOT TYPE Edge AREA (APPROX M²) 525 LOT FRONTAGE 15m

	Legend
	Building Type
24,50	V Village Type
2 ³⁵ 5 m ² 3	H House Type
2 6 0 C	SDR Specific Design Requirements (refer to Operative Provision No.12)
x 4 + 25.00	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
00 23.50	25.05 Datum and Pad Level (refer Operative Provision No. 5)
	+25.00 Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
A sa cha bink	Entry Steps
52°	Indicative Retaining Wall Locations
2400	Indicative Retaining Wall Type 2
	— — — No Vehicular Access
4.5m 2 35	Indicative Services Area
-++++++++++++++++++++++++++++++++++++	1 Principal Boundary
A95	2 Secondary Boundary
2051	3 Side Boundary (South)
	4 Rear Boundary
0 5m 10m 15m 20m 25m Scale 1:500	*-• Proposed Light Pole Location

Lot 614 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 614. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.05 AHD

TEM	DESCRIPTION	REQUIREMENT
5	Setbacks and Build-to-Lines	
Э.	Principal Setback Line	Is parallel to and located 4.15 metres from the Principal Boundary, for a length of 14 metres measured from the Secondary Boundary, within the Lot as depicted on the Plan.
).	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
2.	Side Setback Line (North)	N/A
 d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
 ⊇.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line, for a length of 14 metres measured from the Secondary Boundary, within the Lot as depicted on the Plan.
ј .	BTL Percentage	95% minimum
า.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
Э.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
Э .	Encroachments into Secondary Set	tback
	i. Permitted Encroachments into Secondary Setback.	N/A
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	
••••• ••••• 2.	Encroachments may encroach beyond the	N/A
	Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments	Faves. Shade Devices and
 	Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback	Eaves, Shade Devices and Attached Fences.
 c. d.	Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	Eaves, Shade Devices and Attached Fences. N/A
c	Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	Eaves, Shade Devices and Attached Fences.
	Encroachments may encroach beyond the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (South) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	Eaves, Shade Devices and Attached Fences. N/A N/A

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
а.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor andi. Principal Elevationii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	N/A
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	Yes - Three required (mandated) SDR's
		SDR 1) A Gable End which is required to have a minimum width of 6.0 metres and a maximum width of 7.0 metres.
		SDR 2) A Gable End which is required to be the same width as the Gable End in SDR 1.
		SDR 3) Laneway Surveillance.
13.	Refuse storage enclosures and c	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 615 TRANSECT 74 LOT TYPE Edge AREA (APPROX M²) 420 LOT FRONTAGE 14m

⊕23.00 Legend Building Type Cottage Type С 1/1 ふ 1н House Type Specific Design Requirements (refer to Operative Provision No.12) 23.91 (SDR) ++23.50 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and シ <A H No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) Φ 23.97 Datum and Pad Level (refer Operative Provision No. 5) 74 H 231 24.00 +23.50 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps So Co SDR Indicative Retaining Wall Locations - 0-22.50 Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary 1 2 Secondary Boundary 3 Side Boundary (North) 4 Rear Boundary Proposed Light Pole Location 5m 10m 15m 20m 25m Scale 1:500

Lot 615 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 615. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.97 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 13.0 metres, measured from the Secondary Boundary within the Lot.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Se	:back
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
••••	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
 d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building	Straight Front, a Return Verandah,

9.	DESCRIPTION	REQUIREMENT
	Garaging, Parking and Vehicle A	lccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North).
d.	Required Garage Disposition	Rear Direct, Rear Back Court.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent	d above Nil Nil
	to rear boundary	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Paleories et be cereback
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted.
		• Verandahs, Terraces and
		Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation	a minimum of 4.5m from the Side Boundary, unless
		a minimum of 4.5m from the Side Boundary, unless Screened.
12. a.	vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot?	a minimum of 4.5m from the Side Boundary, unless Screened.
	Specific Design Requirement Is there a Specific Design Requirement applicable to this	a minimum of 4.5m from the Side Boundary, unless Screened. N/A No
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot?	a minimum of 4.5m from the Side Boundary, unless Screened. N/A No
a. 13.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c	a minimum of 4.5m from the Side Boundary, unless Screened. N/A No collection Storage for 3 bins provided within the Lot and screened from
a. 13. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and c Required Bin Storage Required Bin Collection Point Location (required by the City of	a minimum of 4.5m from the Side Boundary, unless Screened. N/A No collection Storage for 3 bins provided within the Lot and screened from public view
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and o Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	a minimum of 4.5m from the Side Boundary, unless Screened. N/A No Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm
a. 13. a. b. 14.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and o Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	a minimum of 4.5m from the Side Boundary, unless Screened. N/A No collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. 13. a. b. 14. 15.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and o Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	a minimum of 4.5m from the Side Boundary, unless Screened. N/A No collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

2026 Interior



Lot 2026 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 2026. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.68 AHD

6 Setbacks and Build-to-Lines a. Principal Setback Line Is parallel to and located 3.7 metres from the Principal Boundary within the Lot. b. Secondary Setback Line N/A c. Side Setback Line (North) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. c. Side Setback Line (North) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. d. Side Setback (South) Is located on the relevant Side Boundary. d. Side Setback Line Is located on the Side Boundary. e. Rear Setback Line Is located on the Side Boundary. f. Build-to-Line (BTL) Location Yes. Is parallel to and located 3.7 metres from the Principal Boundary (North) was shown on the Plan. g. BTL Percentage 95% minimum h. Required Parapet Wall Location N/A 7. Permitted Encroachments in Principal Setback The extent to which any Encroachments an encroach into any setback must take into a Principal Setback i. Permitted Encroachments into Principal Setback and Steps, Towers, a merchad from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments into Secondary Setback		DESCRIPTION	REQUIREMENT
metres from the Principal Boundary, within the Lot. b. Secondary Setback Line N/A c. Side Setback Line (North) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North) A portion of one (1) of the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. d. Side Setback Line Is located on the Rear Boundary e. Rear Setback Line Is located on the Side Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (Worth) as shown on the Plan. g. BTL Percentage 95% minimum h. Required Parapet Wall Location N/A 7. Permitted Encroachments into Principal Setback The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments in Principal Setback Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Shade	6	Setbacks and Build-to-Lines	
 Side Setback Line (North) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Side Setback (South) Is located on the Side Boundary South. Rear Setback Line Is located on the Rear Boundary Build-to-Line (BTL) Location Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan. BTL Percentage BTL Percentage Permitted Encroachments into Principal Setback Permitted Encroachments into Principal Setback Permitted Encroachments Permitted Encroachments<td>a.</td><td>Principal Setback Line</td><td>metres from the Principal</td>	a.	Principal Setback Line	metres from the Principal
 Side Setback Line (North) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Side Setback (South) Is located on the Side Boundary South. e. Rear Setback Line Is located on the Rear Boundary f. Build-to-Line (BTL) Location Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan. g. BTL Percentage 95% minimum Required Parapet Wall Location N/A 7. Permitted Encroachments into Principal Setback i. Extent to which Permitted Encroachments may encroach into the Principal Setback i. Permitted Encroachments into Secondary Setback i. Permitted Encroachments into Rear Setback Permitted Encroachments into Rear Setback Permitted Encroachments into Rear Setback P	 b.	Secondary Setback Line	•••••••••••
Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. e. Rear Setback Line Is located on the Side Boundary f. Build-to-Line (BTL) Location Yes. Is parallel to and located 3.7 metres from the Principal Boundary (North) as shown on the Plan. g. BTL Percentage 95% minimum h. Required Parapet Wall Location N/A 7. Permitted Encroachments into Principal Setback i. Permitted Encroachments into Principal Setback i. Extent to which Permitted Encroachments into Side Setback i. Permitted Encroachments into Principal Setback i. Permitted Encroachments into Principal Setback i. Permitted Encroachments N/A Kencoachments into Side Setback i. Permitted Encroachments N/A Kencoachments into Secondary Setback i. Permitted Encroachments N/A Kencoachments into Side Setback i. Permitted Encroachments N/A Kencoachments into Rear Setback i. Permitted Encroachments into Rear Setback Bercroachments into Rear Setback Attached Fences. Attached Fenc	с.	•••••••••••••••••••••••••••••••••••••••	Is parallel to and located 1.0 metre from the Side Boundary
South. e. Rear Setback Line Is located on the Rear Boundary f. Build-to-Line (BTL) Location Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan. g. BTL Percentage 95% minimum h. Required Parapet Wall Location N/A 7. Permitted Encroachments The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments in Principal Setback i. Permitted Encroachments into Secondary Setback i. Encroachments into Secondary Setback b. Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback i. Permitted Encroachments into Side Setback i. Permitted Encroachment			Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the
f. Build-to-Line (BTL) Location Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan. g. BTL Percentage 95% minimum h. Required Parapet Wall Location N/A 7. Permitted Encroachments The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. ii. Extent to which Permitted Encroachments may encroach into the Principal setback 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. b. Encroachments into Secondary Setback N/A c. Encroachments into Side Setback. N/A d. Permitted Encroachments into Side Setback. N/A j. Permitted Encroachments into Secondary Setback. N/A d. Encroachments into Side Setback. N/A d. Permitted Encroachments into Side Setback. <td>d.</td> <td>Side Setback (South)</td> <td></td>	d.	Side Setback (South)	
3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan. g. BTL Percentage 95% minimum h. Required Parapet Wall Location N/A 7. Permitted Encroachments The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments in Principal Setback Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. ii. Extent to which Permitted Encroachments may encroach into the Principal Setback 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. b. Encroachments into Secondary Setback N/A c. Encroachments into Secondary Setback N/A d. Permitted Encroachments into Side Setback (North) Eaves, Shade Devices and Attached Fences. d. Permitted Encroachments into Side Setback IN/A d. Encroachments into Rear Setback. N/A into Rear Setback N/A a. Permitted Encroachments into Rear Setback N/A b. Permitted	е.	Rear Setback Line	Is located on the Rear Boundary
h. Required Parapet Wall Location N/A 7. Permitted Encroachments 7. Permitted Principal Elevation Requirements 7. Permitted Principal Building 7. Permitted Principal Building 7. Permitted Principal Building 7. Permitted Principal Buildin	f.	Build-to-Line (BTL) Location	3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on
7. Permitted Encroachments The extent to which any Encroachment can encroach into any setback must take into ary setback must take into ary setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Permitted Encroachments into Principal Setback verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. ii. Extent to which Permitted Encroachments may encroach into the Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Line. An exception to this is Steps, which are not restricted. b. Encroachments into Secondary Setback i. Permitted Encroachments into Side Setback. i. Permitted Encroachments into Side Setback. i. Permitted Encroachments into Side Setback. i. Permitted Encroachments into Rear Setback. <t< td=""><td>g.</td><td>BTL Percentage</td><td>95% minimum</td></t<>	g.	BTL Percentage	95% minimum
Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. a. Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. ii. Extent to which Permitted Encroachments may encroach into the Principal Setback i. Permitted Encroachments setback i. Permitted Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback c. Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. c. Encroachments into Side Setback i. Permitted Encroachments into Side Setback i. Permitted Encroachments into Side Setback i. Permitted Encroachments into Secondary Setback. c. Encroachments into Side Setback i. Permitted Encroachments into Rear Setback B. Frontage/ Principal Elevation Requirements a. Required Principal Building Straight Front	h.	Required Parapet Wall Location	N/A
 i. Permitted Encroachments into Principal Setback Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback I. Permitted Encroachments into Secondary Setback Permitted Encroachments into Side Setback. C. Encroachments into Side Setback I. Permitted Encroachments into Side Setback (North) MA Attached Fences. Encroachments into Rear Setback. I. Permitted Encroachments into Rear Setback I. Permitted Encroachments into Side Setback (North) Attached Fences. M/A Encroachments into Rear Setback. I. Permitted Encroachments into Rear Setback I. Permitted Encroachments into Rear Setback I. Permitted Encroachments into Rear Setback J. Permitted Encr	7.	Permitted Encroachments	Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and
into Principal SetbackShade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.ii. Extent to which Permitted Encroachments may encroach into the Principal Setback2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.b.Encroachments into Secondary Setbacki.Permitted Encroachments into Secondary Setback.c.Encroachments into Side Setback.i.Permitted Encroachments into Rear Setback.i.Permitted Encroachments into Rear Setback.i.Permitted Encroachments into Rear Setbacki.Permitted Encroachments into Rear Setbacki.Permitted Encroachments into Rear Setbacka.Required Private Frontage Type Verandahb.Permitted Principal Buildingb.Permitted Principal Building	a.	Encroachments in Principal Setback	<
Encroachments may encroach into the Principal Setback the Principal Setback Line. An exception to this is Steps, which are not restricted. b. Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. c. Encroachments into Side Setback i. Permitted Encroachments into Side Setback. c. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North) d. Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback. a. Permitted Encroachments into Rear Setback b. Permitted Private Frontage Type Verandah Straight Front	•••••		Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a
 i. Permitted Encroachments into Secondary Setback. c. Encroachments into Side Setback i. Permitted Encroachments Eaves, Shade Devices and into Side Setback (North) Attached Fences. d. Encroachments into Rear Setback. i. Permitted Encroachments N/A into Rear Setback. i. Permitted Encroachments N/A a. Required Private Frontage Type Verandah b. Permitted Principal Building Straight Front 		Encroachments may encroach into the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.
 c. Encroachments into Side Setback Permitted Encroachments Eaves, Shade Devices and Attached Fences. Encroachments into Rear Setback. Permitted Encroachments N/A into Rear Setback Permitted Encroachments N/A eaves, Shade Devices and Attached Fences. Permitted Encroachments N/A into Rear Setback Required Principal Elevation Requirements Required Private Frontage Type Verandah Permitted Principal Building Straight Front 	b.	i. Permitted Encroachments	N/A
into Side Setback (North) Attached Fences. d. Encroachments into Rear Setback. i. Permitted Encroachments N/A into Rear Setback 8. Frontage/Principal Elevation Requirements a. Required Private Frontage Type Verandah b. Permitted Principal Building Straight Front	с.	•••••••••••••••••••••	
 i. Permitted Encroachments N/A into Rear Setback 8. Frontage/ Principal Elevation Requirements a. Required Private Frontage Type Verandah b. Permitted Principal Building Straight Front 			
into Rear Setback 8. Frontage/Principal Elevation Requirements a. Required Private Frontage Type Verandah b. Permitted Principal Building Straight Front	d.	Encroachments into Rear Setback.	
a. Required Private Frontage Type Verandah b. Permitted Principal Building Straight Front			N/A
b. Permitted Principal Building Straight Front	8.	Frontage/ Principal Elevation Red	quirements
	а.	Required Private Frontage Type	Verandah
	b.		Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	d above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



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8.0 G 22.3 20 22.68 2 3a 23.23 ゎ ઌૢૢૢૢૢૢૢ૽ 232 11.2 6 9 6 25 $\langle \diamond \rangle$ 0 5m 10m 15m 20m 25m Scale 1:500

LOT FRONTAGE 11.2m Legend Building Type Cottage Type С Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 23.23 Datum and Pad Level (refer Operative Provision No. 5) +23.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3 Rear Boundary 4 Proposed Light Pole Location Sightlines to be maintained as per Traffic Report (Uloth, May 2024)

Lot 2027 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 2027. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.23 AHD

LOT 2027 TRANSECT T4 LOT TYPE AREA (APPROX M²) 336

Interior

	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
Э.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, within the Lot.
 b.	Secondary Setback Line	N/A
· · · · · ·	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres, measured from the Rear Boundary.
d.	Side Setback (South)	Is located on the Side Boundary (South).
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 10.2 metres, measured from the Side Boundary (South) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	tback
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (North and South 3a)	Eaves, Shade Devices and Attached Fences.
 d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
	Permitted Principal Building Elevation Types	Straight Front
b.	Elevation types	
b.		
b.		

ITEM	DESCRIPTION	REQUIREMENT		
9.	Garaging, Parking and Vehicle Access			
а.	Garaging required for this minimum number of cars	2 bays		
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil		
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).		
d.	Required Garage Disposition	Rear Direct		
10.	Attached Fencing and Sideyard	Walling		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	d above Nil		
	ii. Rear Elevation on or adjacent to rear boundary	Nil		
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 		
	iv. Secondary Elevation	N/A		
	v. Side Elevation (North)	Open Outlook		
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 3a) Restricted Outlook 		
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 		
		3b) Nil		
12.	Specific Design Requirement			
a.	ls there a Specific Design Requirement applicable to this Lot?	No		
13.	Refuse storage enclosures and c	ollection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		
18.	elements provided by Jindee			

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LOT T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

2046 Interior



Lot 2046 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 2046. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	23.22 AHD	

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	ls parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (North or South) within
		the Lot.
g. h.	BTL Percentage Required Parapet Wall Location	90% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set i. Permitted Encroachments	
	into Secondary Setback.	
C.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and	Eaves, Shade Devices and Attached Fences.
	South)	
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
о. а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT		
9.	Garaging, Parking and Vehicle Access			
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays		
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil		
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).		
d.	Required Garage Disposition	Rear Direct		
10.	Attached Fencing and Sideyard	Walling		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor and	••••••		
•••••	 Principal Elevation Rear Elevation on or adjacent 	Nil Nil		
•••••	to rear boundary			
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 		
•••••	iv. Secondary Elevation	N/A		
•••••	v. Side Elevation (North)	Open Outlook		
	v. Side Elevation (North)	Openings permitted.		
		 Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 		
	vi. Side Elevation (South)	Restricted Outlook		
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:		
		• is a Celestial Window; or		
		is Screened; oris fitted with Opaque Glass.		
12.	Specific Design Requirement	Is nitted with Opaque Glass.		
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No		
13.	Refuse storage enclosures and c	ollection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

2047 Interior

22 Legend Building Type Cottage Type С CANE BBJ н House Type Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) i^AIH ÷23.00 23.22 Datum and Pad Level (refer Operative Provision No. 5) +23.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 1 ACH Entry Steps Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 , VI VI V No Vehicular Access Indicative Services Area 22.00-€ Principal Boundary 1 2 Side Boundary (North) 21.00 🕁 Side Boundary (South) Ś 3 Rear Boundary 21.50-0 Proposed Light Pole Location 5m 10m 15m 20m 25m Scale 1:500 ö

Lot 2047 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 2047. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.85 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
а.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side
		Boundary (North or South) within the Lot.
g. h.	BTL Percentage Required Parapet Wall Location	90% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set i. Permitted Encroachments	
с.	into Secondary Setback. Encroachments into Side Setback	
••••••	i. Permitted Encroachments	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT		
9.	Garaging, Parking and Vehicle Access			
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays		
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil		
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).		
d.	Required Garage Disposition	Rear Direct		
10.	Attached Fencing and Sideyard \	Walling		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	l above Nil		
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil		
	 iii. Rear elevation internal to a Lot iv. Secondary Elevation v. Side Elevation (North) 	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. N/A Open Outlook Openings permitted. Verandahs, Terraces and 		
	vi. Side Elevation (South)	Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a		
		 minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 		
12.	Specific Design Requirement			
a.	Is there a Specific Design Requirement applicable to this Lot?	No		
13.	Refuse storage enclosures and co	ollection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		

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LOT 2048 T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior

SN Legend Building Type Cottage Type С ⊕-22.00 House Type н No. 6) (A IH ろ O CLANES +22.50 Spot Levels Entry Steps 14.H 22.85 0.50 1 2 <A H 3 0.50-€ 46 in Rear Boundary Proposed Light Pole Location 5m 10m 15m 20m 25m Scale 1:500

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and Build-to-line (BTL) (refer to Operative Provision No. 6) 22.30 Datum and Pad Level (refer Operative Provision No. 5) Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Indicative Retaining Wall Locations Indicative Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (North) Side Boundary (South)

Lot 2048 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 2048. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
С.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Type	Cottage, House	
С.	Lot Type Designation	Interior	
d.	Permitted Building Dispositions		
e.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	22.30 AHD

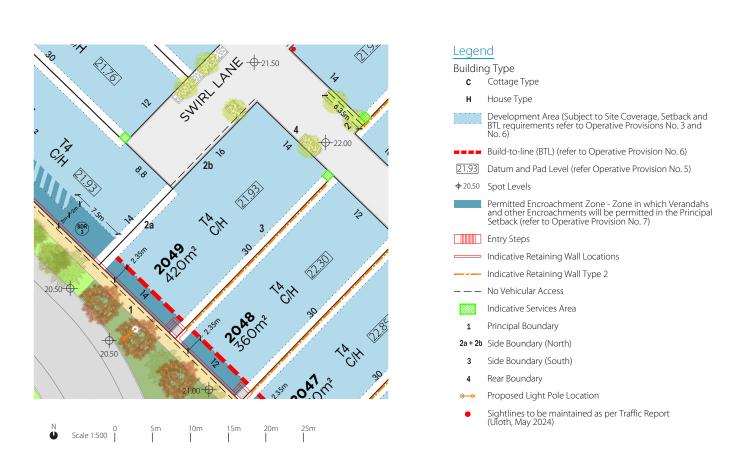
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (North or South) within the Lot.
g. h.	BTL Percentage Required Parapet Wall Location	90% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbacl	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building	Straight Front, a Return Verandah,

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	l above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
	vi. Side Elevation (South)	 Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		 is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	· is need with Opaque Glass.
a.	ls there a Specific Design Requirement applicable to this	No
13.	Lot? Refuse storage enclosures and c	ollection
а.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 2049 TRANSECT T4 LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

Interior



Lot 2049 forms part of Local Development Plan (LDP) 12.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 2049. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	21.93 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A 2a) Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		2b) Is located on the Side Boundary within the Lot.
d.	Side Setback (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 12.0 metres, measured 1.0 metre from the Side Boundary (South) within the Lot.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Sei	back
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (North 2a and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle A	ccess
	Concerns a required for their	Cottage/ House - 2 bays
a.	Garaging required for this minimum number of cars	
a. b.		Nil Principal Boundary, Side

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard V	Walling
a.	Type required	Attached Fence
11.	Privacy	
а.	Privacy Restrictions on 1st floor and	l above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	2a) Open OutlookOpenings permitted.
		• Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	2b) Nil Restricted Outlook
	VI. Side Lievation (South)	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
		Operative Provisions

