





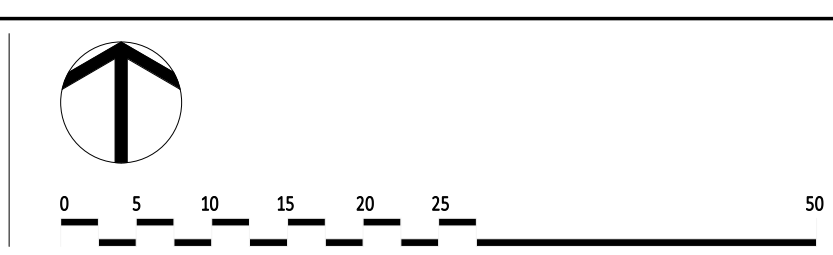
LOCATION PLAN

SCALE: 1 : 500



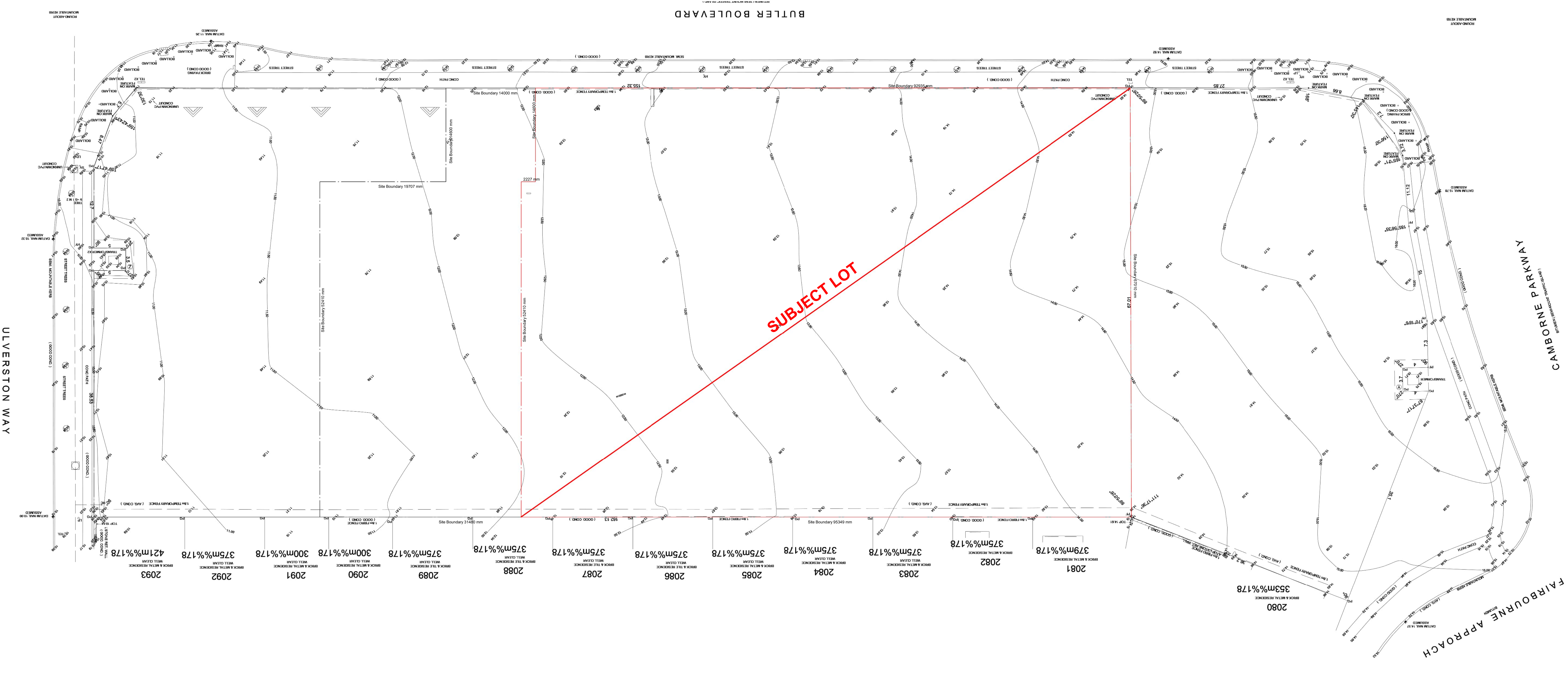
PROPOSED FAST FOOD DEVELOPMENT

LOCATION : PART LOT 2076, Butler Boulevard, Butler
 FOR : SHIMAL REALSTAR PTY LTD BY: VEND PROPERTY



DATE:	APRIL 2024	PROJECT NUMBER	
REVISION:	3		9266
SHEET:	01		
SCALE:	1 : 500 @B1		

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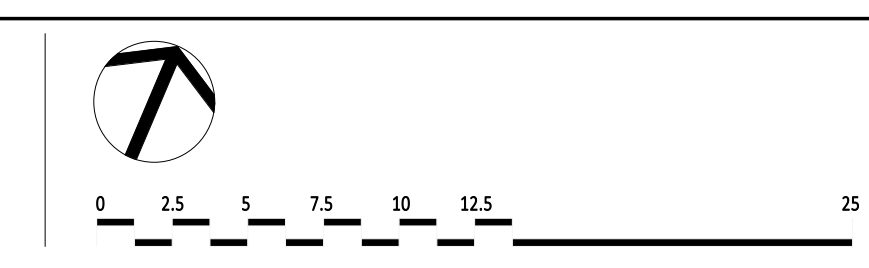


SITE SURVEY

SCALE: 1 : 250



PROPOSED FAST FOOD DEVELOPMENT
 LOCATION : PART LOT 2076, Butler Boulevard, Butler
 FOR : SHIMAL REALSTAR PTY LTD BY: VEND PROPERTY



DATE:	APRIL 2024	PROJECT NUMBER	
REVISION:	3		9266
SHEET:	02		
SCALE:	1 : 250 @B1		

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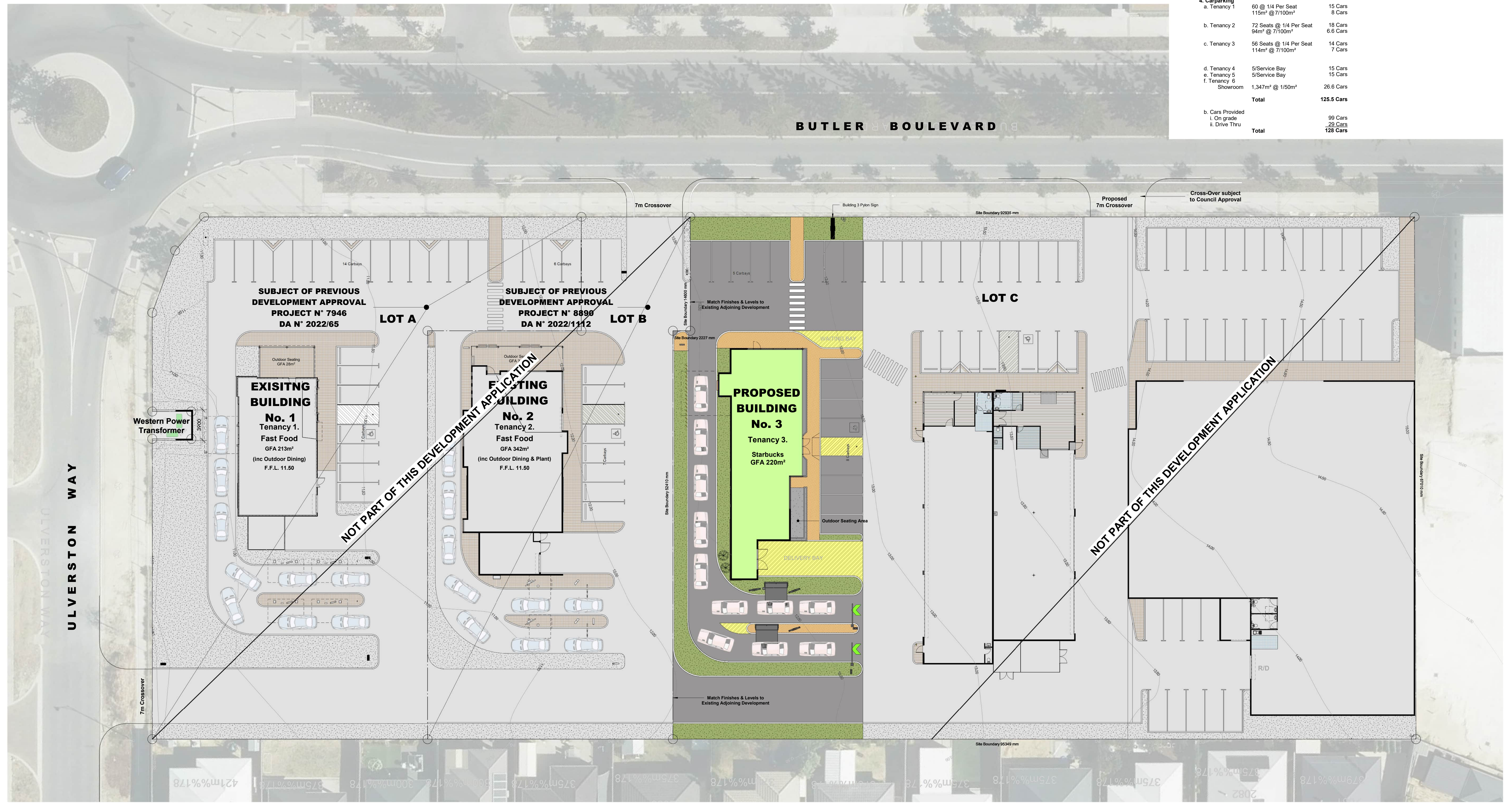
SITE CRITERIA

1. Site Area		11,483.5m²
2. Landscaping		919m²
a. Required 8% Of Soft Landscaping		
b. Provided Soft		1,508m² (13.2%)
3. Floor Area (GFA)		
a. Tenancy 1 - Fast Food		213m ²
b. Tenancy 2 - Fast Food		342m ²
c. Tenancy 3 - Fast Food		220m ²
d. Tenancy 4 - Auto Service		320m ²
e. Tenancy 5 - Auto Service		352m ²
f. Tenancy 6 - Showroom		1,347m ²
Total		2,794m²
4. Carparking		
a. Tenancy 1	60 @ 1/4 Per Seat 115m ² @ 7/100m ²	15 Cars 8 Cars
b. Tenancy 2	72 Seats @ 1/4 Per Seat 94m ² @ 7/100m ²	18 Cars 6.6 Cars
c. Tenancy 3	56 Seats @ 1/4 Per Seat 114m ² @ 7/100m ²	14 Cars 7 Cars
d. Tenancy 4	5/Service Bay	15 Cars
e. Tenancy 5	5/Service Bay	15 Cars
f. Tenancy 6	1,347m ² @ 1/50m ²	26.6 Cars
Total		125.5 Cars
b. Cars Provided		
i. On grade		99 Cars
ii. Drive Thru		29 Cars
Total		128 Cars

Landscaping
 A. Hard Landscaping
 Defined as paved walkways either open or covered.
 B. Soft Landscaping
 Defined as vegetative landscaping.

Gross Floor Area - GFA
 A. All Floor Areas on this plan are shown as GROSS FLOOR AREA.
 Unless otherwise noted as Net Floor Area.
 B. Definition of Gross Floor Area is defined as:
 i. GROSS FLOOR AREA OF TENANCY:
 Gross Floor Area of an individual Tenancy is defined as the area contained between the centre line of common tenancy walls and the outside edge of external walls.
 ii. GROSS FLOOR AREA OF A BUILDING:
 Gross Floor Area of a Building is defined as the total area contained between the outside edge of external walls.

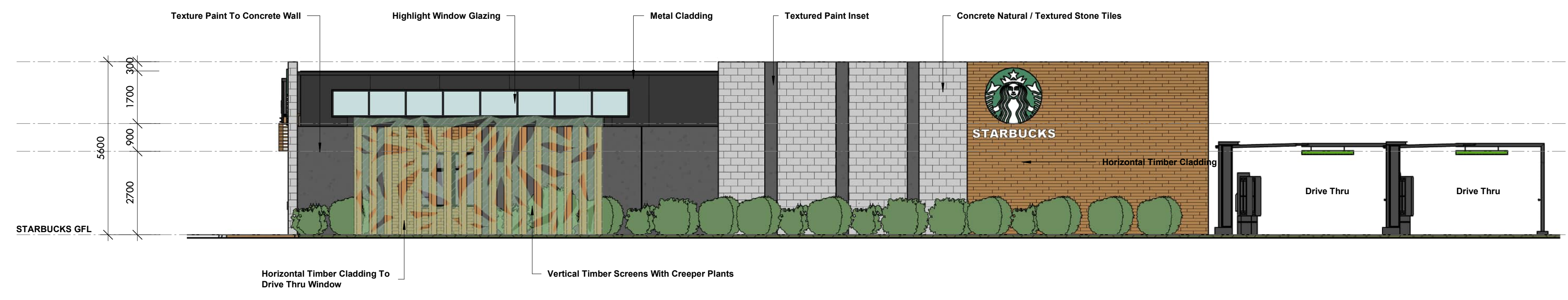
Net Floor Area - NFA
 A. Net Floor Area of a Tenancy on this plan is defined as the area between external or tenancy dividing walls.
 B. This area is inclusive of toilets if the toilets are exclusive to the Tenancy.



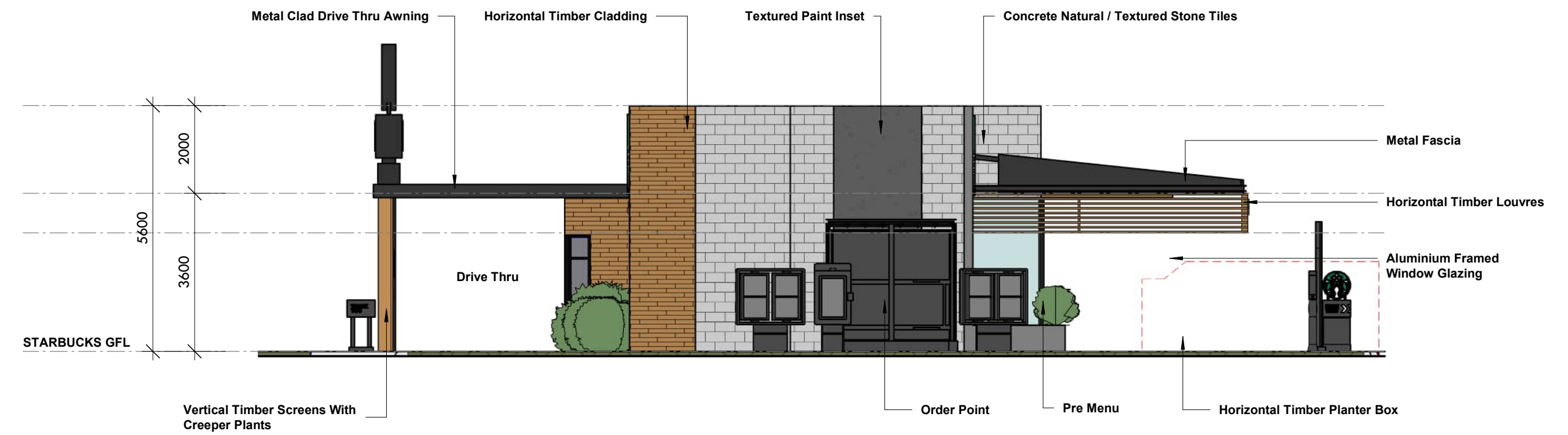
SITE PLAN - BUILDING 3

SCALE: 1 : 200

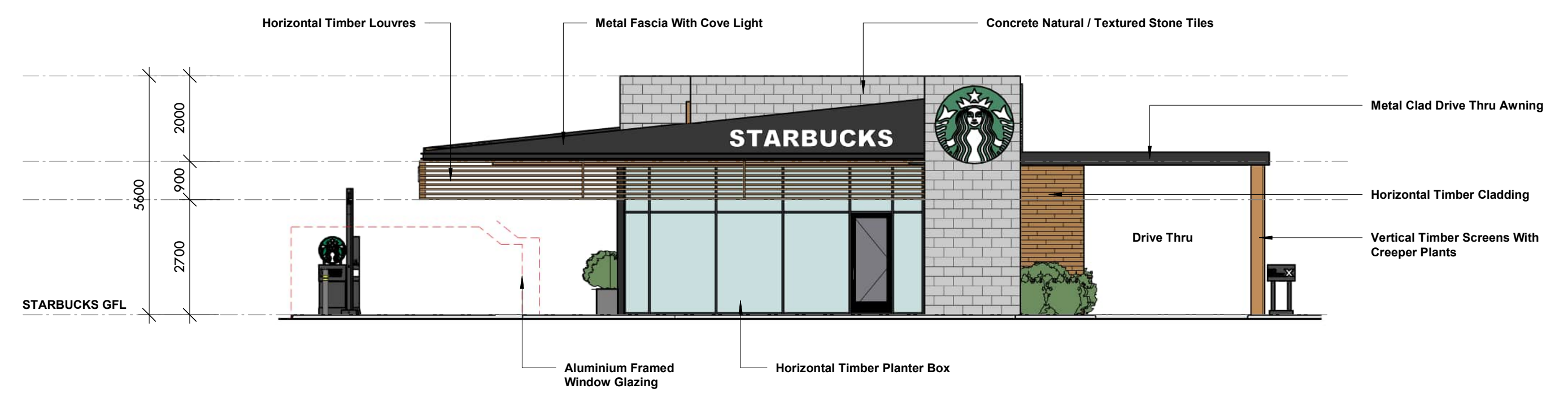
NOTE:
 1. Signage is not a part of this Development Application.
 2. Signage will be by a separate Application.
 3. Signage shown is indicative only.



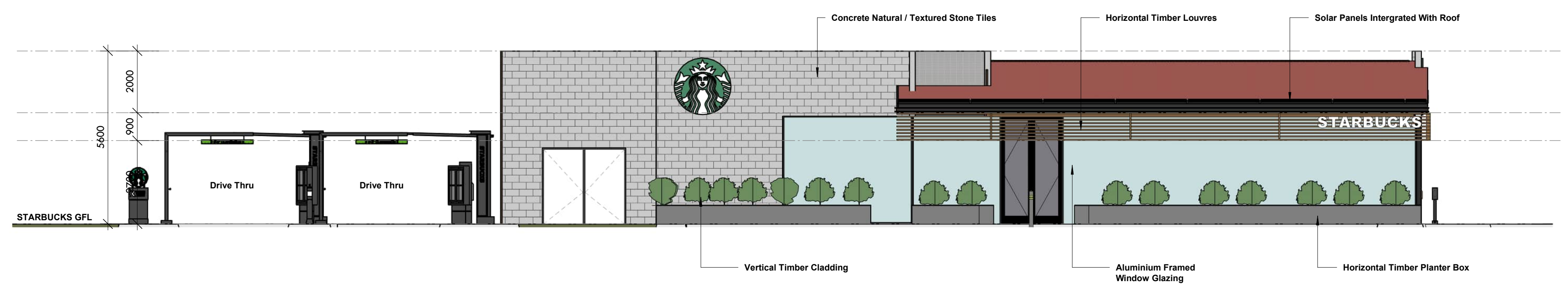
BUILDING 3 - WEST ELEVATION
 SCALE: 1:100



BUILDING 3 - SOUTH ELEVATION
 SCALE: 1:100



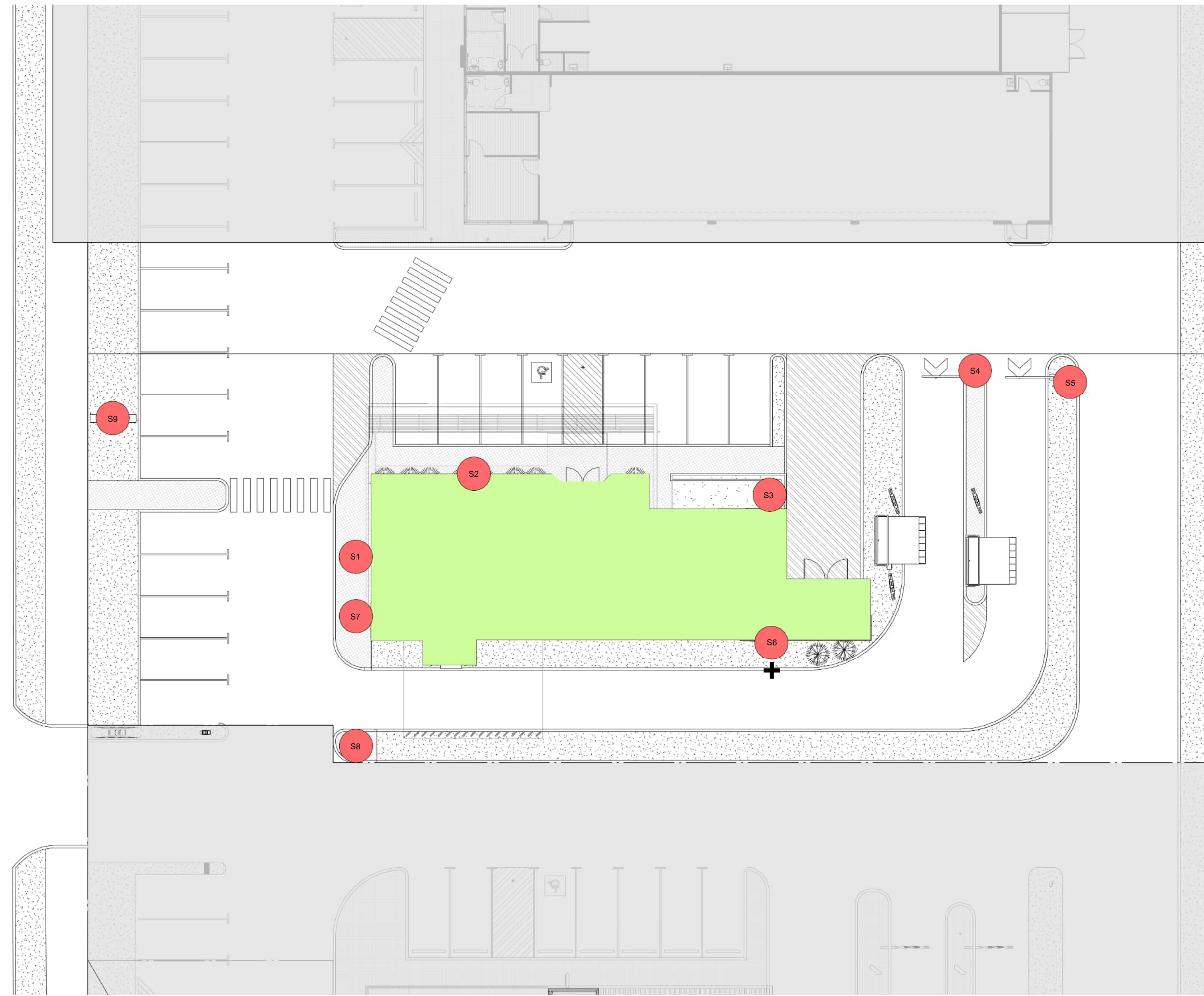
BUILDING 3 - NORTH ELEVATION
 SCALE: 1:100



BUILDING 3 - EAST ELEVATION
 SCALE: 1:100



BUTLER BOULEVARD



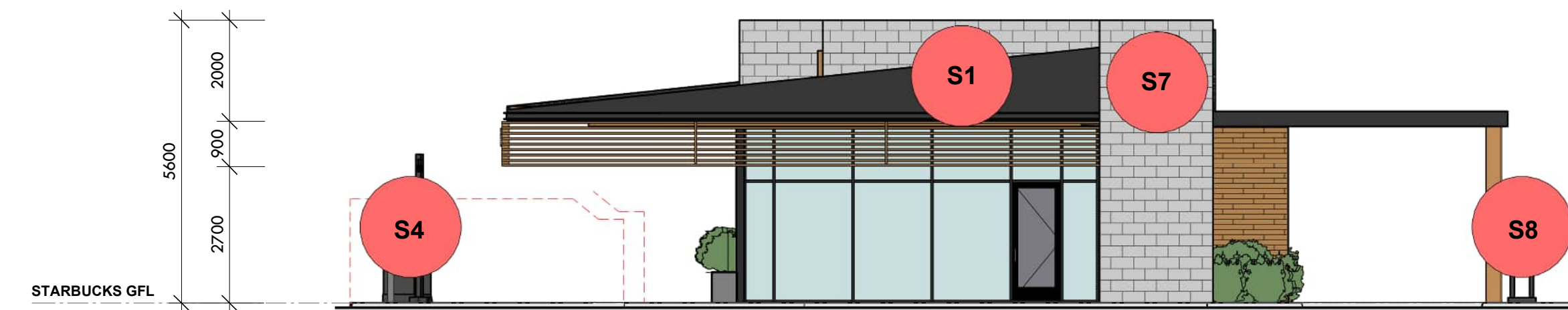
BUILDING 3 - WEST ELEVATION SIGNAGE

SCALE: 1 : 100



BUILDING 3 - SOUTH ELEVATION SIGNAGE

SCALE: 1 : 100



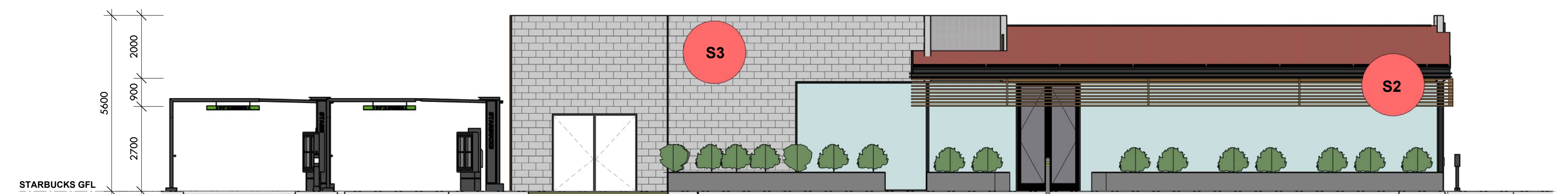
BUILDING 3 - NORTH ELEVATION SIGNAGE

SCALE: 1 : 100



PYLON SIGN ELEVATION

SCALE: 1 : 50



BUILDING 3 - EAST ELEVATION SIGNAGE

SCALE: 1 : 100

PROPOSED SIGNAGE LOCATIONS

SCALE: 1 : 200




No.	Location	Signage Graphic	Description
S1	Tenancy 3 Side Roof	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S2	Tenancy 3 Front Louvred Panels	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S3	Tenancy 3 Back Wall	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S4	Tenancy 3 Back Wall	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S5	Tenancy 3 Side Wall	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S6	Tenancy 3 Side Wall	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S7	Tenancy 3 Drive Thru Exit	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S8	Tenancy 3 Drive Thru Entry	Refer Elevations	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.
S9	Tenancy 3 Pylon Sign	Refer Pylon Sign Elevation	Aluminium Composite Panel Building Sign in corporate colours. Client to confirm details.

NOTE:





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2. Signage will be by a separate Application.
3. Signage shown is indicative only.

LANDSCAPE LEGEND

PLANTING SCHEDULE

Symbol	Description	Spacing	Size
	MIX 01 - Groundcovers	3 per sqm.	140mm
	MIX 02 - Low Hedging & Groundcovers	3 per sqm.	140mm
	MIX 03 - Low Shrubs & Groundcovers	3 per sqm.	140mm

TREE SCHEDULE

Symbol	Description	Spacing	Size
	TREE 01 - AGONIS FLEXUOSA	As shown	100L
	TREE 02 - CORYMBIA FICIFOLIA	As shown	100L
	TREE 03 - EUCALYPTUS TORQUATA	As shown	100L
	EXISTING TREE		

PLANTING MIX 01



PLANTING MIX 02



PLANTING MIX 03



TREE



NOTES

1. Landscape Works

- 1.1 Confirm set out of all trees and kerbs prior to commencement of works.
- 1.2 All areas are to be fine graded evenly to conform to kerb levels and surrounding finishes.
- 1.3 Final grading shall provide consistently self draining falls to surfaces. Surfaces shall be free from depressions, irregularities and awkward and noticeable changes in grade. Generally, grades shall deviate in level no greater than 20mm in one linear metre.

2. Soil Preparation

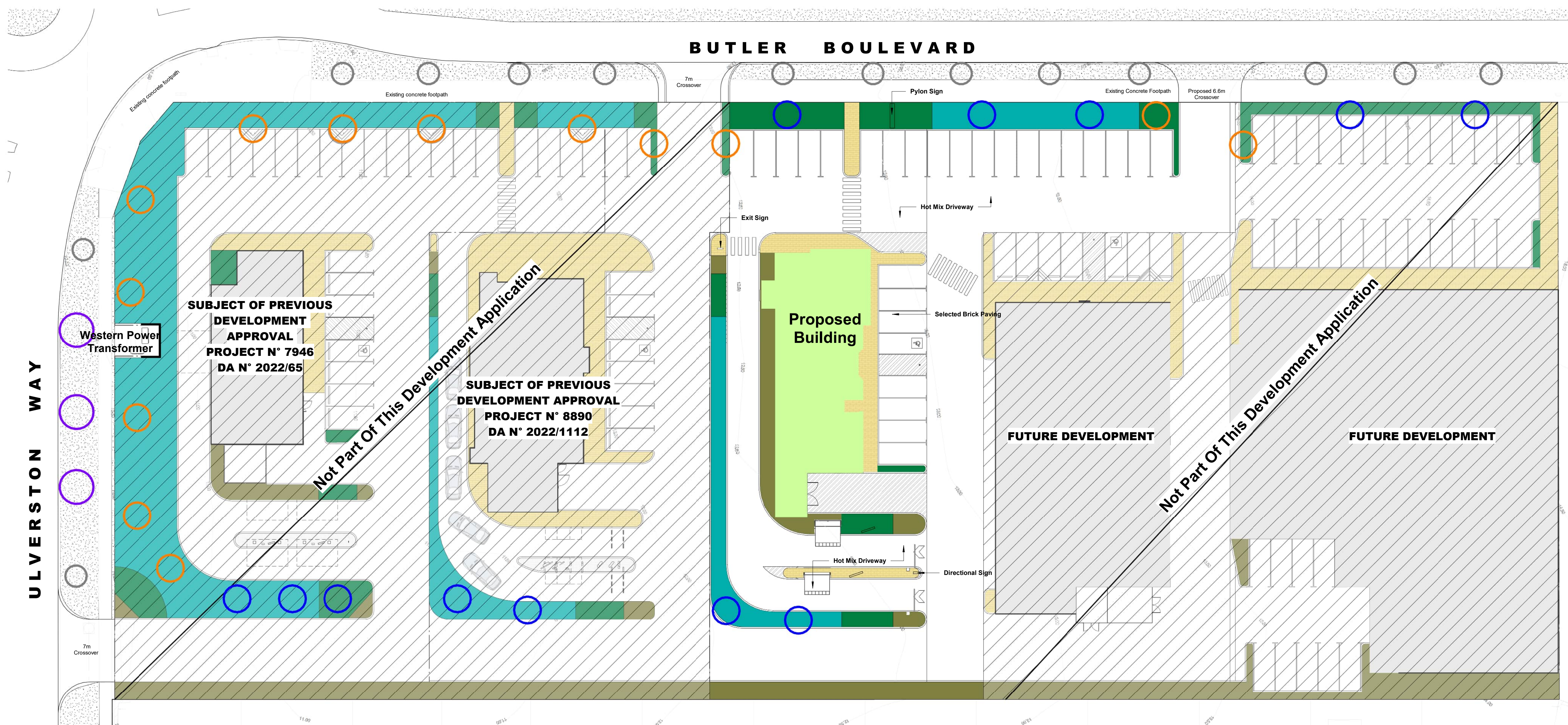
- 2.1 Existing soil in planting areas shall be treated with soil wetting agent. Planted areas shall be spread with 50mm of approved standard soil conditioner that shall be ripped into existing soil to a min. depth of 200mm.
- 2.2 Turf areas shall be evenly spread w/50mm of medium texture general purpose garden soil, to comply with AS 2223-1978. rip into existing site soil to a depth of 50mm.

3. Planting

- 3.1 Planted areas shall be mulched with an organic mulch unless otherwise stated to a minimum depth of 100mm.
- 3.2 Advanced trees shall be staked w/ 3 x 85mm Dia CCA treated pine poles. Posts shall be painted black and installed to a min depth of 600mm. Trees shall be secured to poles w/ 3 x rubber ties.
- 3.3 Trees planted within 1000mm of boundary walls and/or parking areas shall be installed within 600mm depth nylax root barrier membrane. Membrane shall be installed as per manufacturers recommendations.

4. Irrigation

- 4.1 All planting and grassing to be irrigated via a fully automatic system from mains.
- 4.2 All turf to be irrigated via articulated risers. All shrubs to be irrigated w/ poly riser jets. All trees to be irrigated via bubblers.
- 4.3 Controller to be located in bin store unless otherwise directed.
- 4.4 System to overlap sufficiently to counteract wind blow and avoid drought shadow.
- 4.5 Sleeves beneath paved surfaces to be provided by others.
- 4.6 Irrigation system shall be dual program to allow turf and planting areas to be watered separately.



LANDSCAPE PLAN

SCALE: 1 : 250